

PROJECT DIRECTORY	REGULATORY AGENCIES
ARCHITECT OF RECORD HEIGHTS VENTURE ARCHITECTS, L.L.P. 5717 LEGACY DRIVE, SUITE 240 PLANO, TX 75024 PH (972) 490-7292 CONTACT: ROBERT HOLTON, A.I.A. MEP ENGINEER JAMES F. TURNER ENGINEERS, LP 8340 MEADOW ROAD, SUITE 160, DALLAS, TX 75231 PH (214) 750-2900 CONTACT: JIM TURNER	PLAN REVIEW AND INSPECTIONS: CITY OF CARROLLTON BUILDING INSPECTIONS DIVISION 1945 E. JACKSON ROAD CARROLLTON, TX 75006 PH: 972-466-3325

GENERAL NOTES

- THE DOCUMENTS ARE TO BE CONSIDERED A WHOLE PACKAGE AND SHALL NOT BE BROKEN OUT INTO PIECES—EITHER BY TRADE, ROOMS OR EQUIPMENT. THE CONTRACTORS SHALL REFER TO ALL SHEETS FOR RELEVANT INFORMATION INCLUDING ADDITIONAL INFORMATION TO BE PROVIDED BY THE OWNER.
- ALL WORK SHALL COMPLY WITH APPLICABLE NATIONAL AND LOCAL CODES AND ORDINANCES, AS WELL AS UNDERWRITERS REGULATIONS HAVING JURISDICTION. THE CONTRACTORS SHALL ALSO COMPLY WITH ALL RULES AND REGULATIONS OF THE BUILDING OWNER, IF APPLICABLE.
- ALL CONTRACTORS SHALL VISIT THE SITE TO DETERMINE THE EXISTING CONDITIONS. NOTIFY THE ARCHITECT IMMEDIATELY IF THERE ARE ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONSTRUCTION DOCUMENTS.
- THE WORK INCLUDES THE FURNISHING OF ALL LABOR, MATERIALS AND EQUIPMENT AND SERVICES NECESSARY FOR, AND REASONABLY INCIDENTAL TO THE COMPLETION, IN PLACE, OF ALL WORK ILLUSTRATED AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.
- CONDITIONS DEPICTED ON THESE DRAWINGS HAVE BEEN COMPILED FROM AVAILABLE INFORMATION AND MUST BE VERIFIED WITH ON-SITE CONDITIONS. WRITTEN DIMENSIONS ON DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY, AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS AT THE BUILDING SITE AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- THE CONTRACTORS SHALL RECEIVE, HANDLE, STORE (WHEN NECESSARY) AND BE RESPONSIBLE FOR ALL MATERIALS PROVIDED BY OTHERS. ALL MATERIALS SHALL BE ACCOUNTED FOR UPON RECEIPT AND ANY MISSING OR DAMAGED PARTS SHALL BE REPORTED TO THE OWNER IMMEDIATELY.
- SHOP DRAWINGS PREPARED BY THE CONTRACTORS, SUPPLIERS, ETC. SHALL BE REVIEWED BY THE ARCHITECT ONLY AS TO CONFORMANCE WITH THE DESIGN CONCEPT. NO WORK SHALL START WITHOUT SUCH REVIEW.
- THE CONTRACTORS SHALL REMOVE RUBBISH AND DEBRIS FROM THE BUILDING SITE PROMPTLY UPON ACCUMULATION AND IN NO EVENT LESS FREQUENTLY THAN EVERY DAY.
- THE CONTRACTORS SHALL PROTECT ADJACENT AREAS DURING CONSTRUCTION. CONSTRUCTION WORK SHALL NOT DISTURB TRAFFIC OR ONGOING BUSINESS, EXCEPT BY SPECIFIC AGREEMENT WITH OWNER.
- ALL DELIVERIES AND MODIFICATIONS TO THE BUILDING SHALL BE COORDINATED WITH THE BUILDING OWNER, IF APPLICABLE.
- MINOR ITEMS AND ACCESSORIES REASONABLY INFERRED AS NECESSARY TO COMPLETE AND PROPERLY OPERATE ANY SYSTEM, SHALL BE PROVIDED BY THE RESPECTIVE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTORS SHALL INSTALL ALL MANUFACTURED ITEMS, MATERIALS AND EQUIPMENT IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATION RECOMMENDATIONS.
- ALL REQUESTS FOR SUBSTITUTION OF ANY ITEMS SPECIFIED SHALL BE SUBMITTED IN WRITING TO THE OWNER'S REPRESENTATIVE AND WILL BE CONSIDERED ONLY IF BETTER SERVICE, MORE ADVANTAGEOUS DELIVERY DATE OR CREDIT TO THE CONTRACT PRICE WILL BE PROVIDED WITHOUT SACRIFICE OF QUALITY, APPEARANCE AND FUNCTION.
- CONTRACTORS SHALL SUBMIT CONFIRMATIONS WITH DELIVERY DATES ON ORDERS OF MATERIALS AND EQUIPMENT WITH LONG LEAD TIMES.
- THE CONTRACTORS SHALL SUBMIT SAMPLES OF ALL FINISHES TO THE ARCHITECT OR OWNER REPRESENTATIVE PRIOR TO INSTALLATION.
- CONTRACTORS SHALL VERIFY WITH THE OWNER AND/OR TENANT ALL FIXTURES AND EQUIPMENT TO BE FURNISHED BY OTHERS.
- GAPS BETWEEN DIFFERENT MATERIALS AND OR AT CORNERS SHALL BE THOROUGHLY SEALED.
- COLORS AND MATERIALS SHALL BE VERIFIED WITH OWNER.

GENERAL REQUIREMENTS

- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE ENTIRE SET OF DOCUMENTS WITH ALL TRADES.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE DRAWINGS AND PERMITS FOR ALL BUILDING SYSTEMS, UNLESS NOTED OTHERWISE FROM THE OWNER.
- PRIOR TO EXECUTING CONSTRUCTION CONTRACT, GENERAL CONTRACTOR MAY BE REQUESTED TO REVISE THEIR BID TO REFLECT THE FINAL CONSTRUCTION SET THAT MAY CONTAIN BIDDING ADDENDAS, REGULATORY COMMENTS, CLIENT REVISIONS, DRAWING CLARIFICATIONS, OR VARIOUS OTHER MODIFICATIONS.
- IF A DISCREPANCY OCCURS WITHIN THESE DOCUMENTS, IN THE SPECIFICATIONS, OR BETWEEN THESE DOCUMENTS AND SPECIFICATIONS, THE CONTRACTOR IS TO ASSUME THE MORE EXPENSIVE MATERIAL SYSTEM, OR EQUIPMENT, UNTIL VERIFIED BY THE OWNER AND/OR ARCHITECT.

CITY OF CARROLLTON CITY HALL RESTROOM REVISIONS

1945 E. JACKSON ROAD
CARROLLTON, TEXAS 75006

A PROJECT FOR: CITY OF CARROLLTON

LEGEND / ABBREVIATIONS

AB anchor bolt A/C air conditioning ACT acoustical tile AD area drain ADH addendum ADH adhesive AFL above floor line AGG aggregate ALT alternate ALLUM aluminum ANOD anodized AP access panel ARCH architect(ural) AUTO automatic B bottom of BATT batt insulation BD board BIT bituminous BLDG building BM bench mark, beam BOT bottom BOS bottom of slab BP building paper BRZ bronze BS both sides CB catch basin CC colored concrete CCTV closed circuit tv CEM cement CF cubic foot CFCl contractor furnished, contractor installed CG corner guard CH ceiling height CI cast iron CJ control joint CLR clear(ance) CLM concrete masonry unit COL column CONC concrete CONST construction CONT continuous or continue CONTR contractor COOR coordinate CRS course(s) CS concrete sealed CSMT casement CT ceramic tile CTR center CX connection CY cubic yard DA double acting DEM demolish, demolition DEP depressed DF drinking fountain DIA diameter DIAG diagonal DIM dimension DISP dispenser DIV division DL dead load DMT demountable DN down DP dampproofing DP dimension point DR door DS downspout DT drain tile DTL detail DWG drawing(s) DWR drawer E east EA expansion bolt EB expansion joint EL elevation ELEC electrical EMER emergency ENCL enclosure(s) EP electrical panel board EPDM ethylene propylene EP diene monomer EQ equal EQUIP equipment EST estimate EX existing EXH exhaust EXP expansion EXP exposed EXT exterior FA fire alarm FAF fluid applied flooring FD floor drain, fire damper FE fire extinguisher FEC fire extinguisher cabinet FGL fiberglass FHC fire hose cabinet	FHMS flushhead machine screw FHWS flushhead wood screw FIN finish(ed) FLASH flashing FLD floor cleanout FLR floor(ing) FLUOR fluorescent FND foundation FOC face of concrete FOS face of steel FOW face of wall FR fireproofing FR frame(d), (ing) FR fire retardant treated FS full size, flame spread FTG footing GA gage, gauge GALV galvanized GB grab bar GB gypsum board GI galvanized iron GL glass, glazing GP galvanized pipe GSS galvanized steel sheet GYP gypsum GYP BD gypsum board HB hose bib HBD hardboard HC hollow core HD heavy duty HDR header HM hardware HM hollow metal CJ cast iron CJ control joint HR horizontal HR hour CLR height HTG heating HVAC heating, ventilating, air conditioning HWD hardwood HWH hot water heater ID inside diameter INCL include(d), (ing) INSUL insulate(d), (ion) INT interior JAN janitor JC janitor's closet joint LAM laminate(d) LAV lavatory LH left hand LW lightweight MANF. manufacture(r) MAX maximum MB machine bolt MDF medium density fiberboard MECH mechanical(a) MEX. match existing MEZZ mezzanine MGR manager MH manhole MIN minimum MISC miscellaneous MO masonry opening modular MDD metal panel MRGWB moisture resistant gypsum wall board MTL metal MULL mullion MWP membrane waterproofing N north NAT natural NIC not in contract NOM nominal NTS not to scale OA overall OBS obscure OC on center(s) OD outside diameter OFC owner furnished contractor installed OHMS overhead machine screw OHWS overhead wood screw OPS opening OPP opposite P LAM plastic laminate PAR parapet PC portland cement/ precast concrete PERFOR perforate(d) PL plate, property line PLAT platform PNL panel PNT paint(ed) POB point of beginning PP prepared PROP proposed PSF pounds per square foot PSI pounds per square inch PT pressure treated PTH partition PVP polyvinyl chloride plywood P LAM plastic laminate PAR parapet PC portland cement/ precast concrete PERFOR perforate(d) PL plate, property line PLAT platform PNL panel PNT paint(ed) POB point of beginning PP prepared PROP proposed PSF pounds per square foot PSI pounds per square inch PT pressure treated PTH partition PVP polyvinyl chloride plywood Q T quarry tile R riser RA return air RAD radius RD roof drain REF reference REFR refrigerator REINFORC (ing) reinforced REQ required REQ D required (revision), revised RH right hand RM room RND round RO rough opening S south SC solid core SCHED schedule SEC section SIM similar SL sleeve SPC solid polymer surface SPEC specification(s) SQ square SS stainless steel STD standard STL steel STR structural SUSP suspended SUPP supplement, supply SV sheet vinyl T top of T tread, tempered T.A.S. tongue and groove TB towel bar TEL telephone TEMP tempered TKBD tackboard TOC top of curb TS tube section TV television TWJ top of wall TYP typical U.N.O. unless noted otherwise V vapor barrier VCT vinyl composition tile VERT vertical VG vertical grain VS vinyl stringer VV vinyl tread W west W width, wide W wall covering WD wood W without W/P waterproof(ing) W/PANEL wood paneling WS waterstop WWS welded wire fabric & and @ at C center line L perpendicular P plate, property line % percent ° angle Ø diameter, round □ square ° degree # pound, number
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CODE ANALYSIS / BUILDING DATA

APPLICABLE CODE INFORMATION:
 2012 IBC – INTERNATIONAL BUILDING CODE W/ LOCAL AMENDMENTS
 2011 NEC – NATIONAL ELECTRICAL CODE W/ LOCAL AMENDMENTS
 2012 IMC – INTERNATIONAL MECHANICAL CODE W/ LOCAL AMENDMENTS
 2012 IPC – INTERNATIONAL PLUMBING CODE W/ LOCAL AMENDMENTS
 2012 IECC – INTERNATIONAL ENERGY CONSERVATION CODE
 2012 IFGC – INTERNATIONAL FUEL GAS CODE

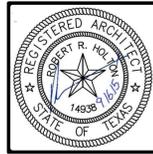
CODE ANALYSIS:
 OCCUPANCY TYPE: BUSINESS B (BASEMENT & 1ST FLOOR) & ASSEMBLY A-3D (2ND FLOOR)
 OCCUPANT LOAD: BASEMENT: 93 OCCUPANTS
 FIRST FLOOR: 211 OCCUPANTS
 SECOND FLOOR: 626 OCCUPANTS

PLUMBING FIXTURE CALCULATION:
 BUSINESS: 1/25 FOR THE FIRST 50 AND 1/50 FOR THE REMAINDER EXCEEDING 50.
 URINALS SHALL NOT BE SUBSTITUTED FOR MORE THAN 50% OF REQUIRED WATER CLOSETS.
 ASSEMBLY: 1/125 MALE WC; 1/65 FEMALE WC
 URINALS SHALL NOT BE SUBSTITUDE FOR MORE THAN 67% OF REQUIRED WATER CLOSETS.
 BASEMENT OCCUPANCY LOAD: 93 OCCUPANTS
 BASEMENT FLOOR REQUIRED: 3 WC & 2 URINALS
 BASEMENT FLOOR PROVIDED: 8 WC & 2 URINALS
 FIRST FLOOR OCCUPANCY LOAD: 211 OCCUPANTS
 FIRST FLOOR REQUIRED: 6 WC & 3 URINALS
 FIRST FLOOR PROVIDED: 8 WC & 2 URINALS
 SECOND FLOOR OCCUPANCY LOAD: 626 OCCUPANTS
 SECOND FLOOR REQUIRED: MALE: 3 WC & 2 URINALS
 FEMALE: 5 WC
 SECOND FLOOR PROVIDED: MALE: 3 WC & 2 URINALS
 FEMALE: 5 WC

SCOPE OF WORK
 INTERIOR FINISH OUT/REMODEL OF EXISTING RESTROOMS INCLUDING PLUMBING & ELECTRICAL FIXTURES.

INDEX OF DRAWINGS

TITLE DISCIPLINE	
G001	COVER SHEET
G010	ACCESSIBILITY DETAILS
ARCHITECTURAL	
A101A	BASEMENT PLANS
A101B	FIRST FLOOR PLANS
A101C	SECOND FLOOR PLANS
A102A	BASEMENT RCP PLANS
A102B	FIRST FLOOR RCP PLANS
A102C	SECOND FLOOR RCP PLANS
A201	PROPOSED RESTROOM ELEVATIONS & SCHEDULES
ELECTRICAL + PLUMBING	
E101	ELECTRICAL PLAN
P101	PLUMBING PLAN



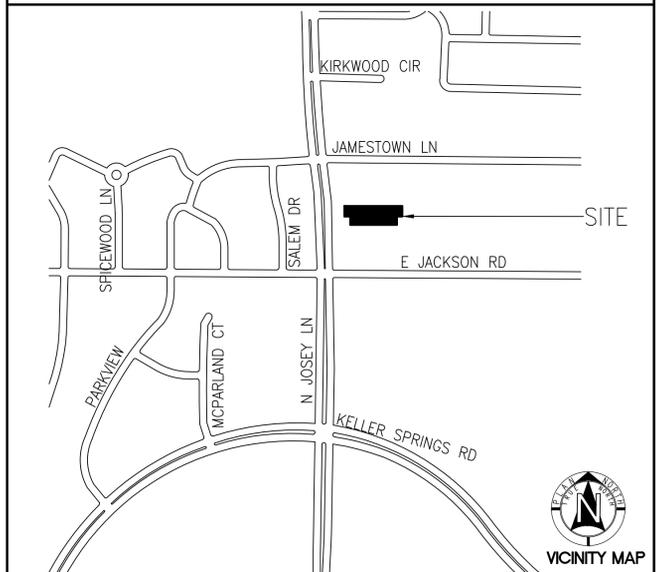
ISSUE DATES	
DATE	ISSUE NAME
07/09/15	OWNER'S REVIEW
08/11/15	BID SET
09/16/15	ADDENDUM #1



HOUSTON: 15000 West Loop, Suite 800
 Houston, Texas 77056
 713.869.1103 V
 DALLAS: 8717 Legacy Drive, Suite 240
 Dallas, Texas 75247
 972.460.7252 V
HEIGHTS VENTURE ARCHITECTS, L.L.P.

**TENANT FINISH OUT FOR
 CITY OF CARROLLTON CITY HALL
 1945 E. JACKSON ROAD
 CARROLLTON, TEXAS 75006**

SITE KEY MAP

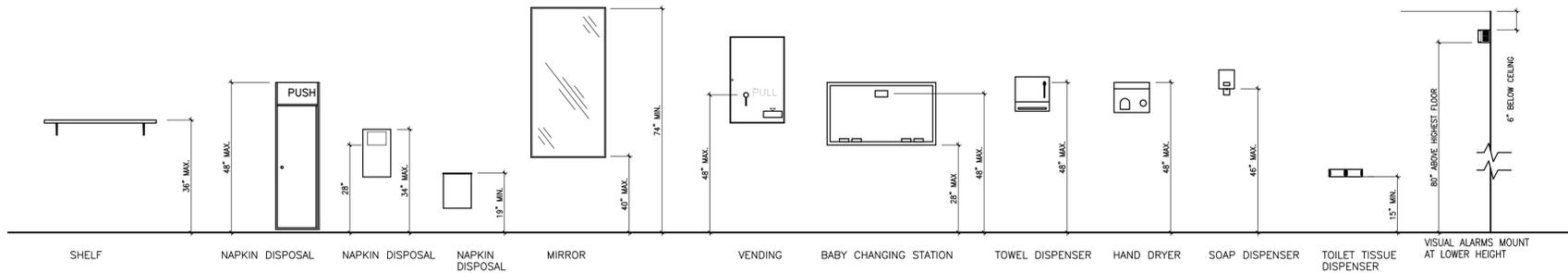


PROJECT NO.	14065
DATE:	09/16/15
CHECKED BY:	ND
DRAWN BY:	TL
FILE NAME:	

SHEET TITLE
COVER SHEET

SHEET NUMBER
G001





30 MISCELLANEOUS FIXTURE HEIGHTS (ADULT)
SCALE: 3/16\"/>

10 ACCESS LAVATORY PLAN
SCALE: 1/4\"/>

5 ADULT SIGN & REACH REQ'S
SCALE: N.T.S.

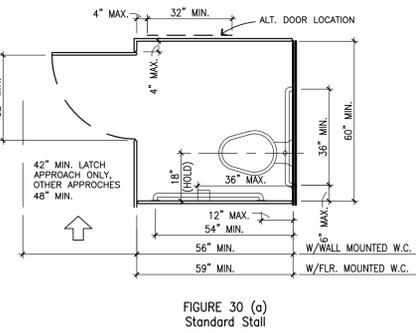


FIGURE 30 (a)
Restroom Stall

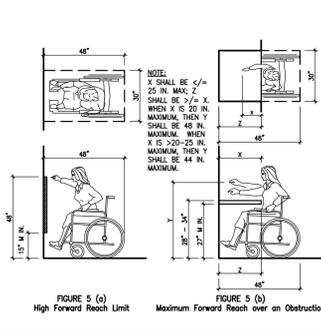


FIGURE 5 (a)
High Forward Reach Limit
FIGURE 5 (b)
Maximum Forward Reach over an Obstruction

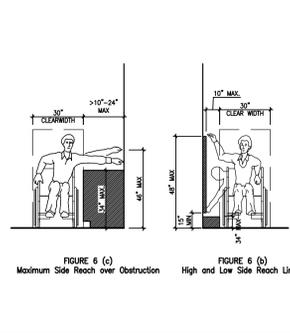


FIGURE 6 (a)
Maximum Side Reach over Obstruction
FIGURE 6 (b)
High and Low Side Reach Limits

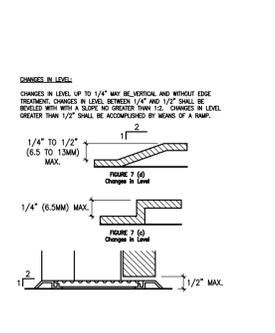


FIGURE 7 (a)
Change in Level
FIGURE 7 (b)
Change in Level

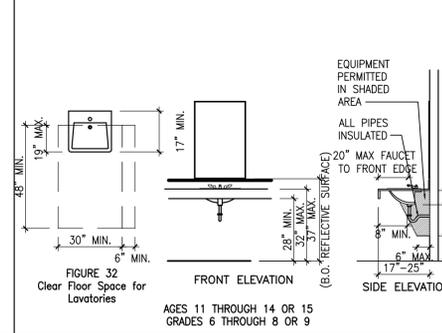


FIGURE 32
Clear Floor Space for Lavatories

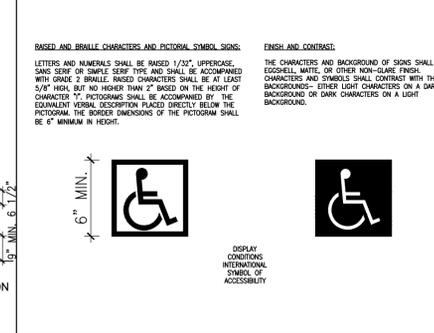


FIGURE 5
Adult Sign & Reach Req's

29 ACCESSIBLE RESTROOM STALL
SCALE: 3/8\"/>

24 ADULT FORWARD REACH
SCALE: 3/8\"/>

19 ADULT SIDE REACH
SCALE: 1/2\"/>

14 CHANGES IN LEVEL
SCALE: N.T.S.

9 ADULT LAVATORY CLEARANCES
SCALE: 3/8\"/>

4 SIGNAGE REQUIREMENTS
SCALE: N.T.S.

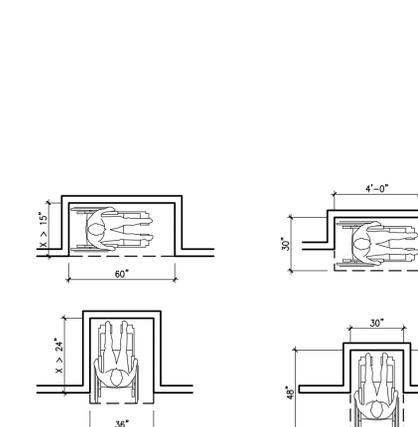


FIGURE 4 (a) through (e)
Additional Clear Floor Space for Wheelchairs

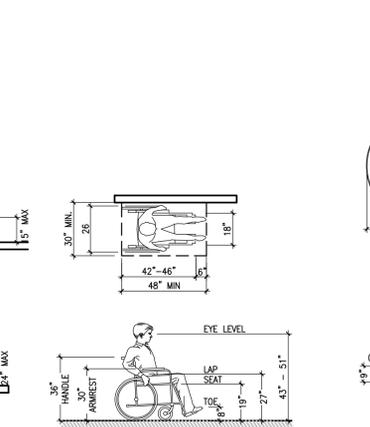


FIGURE A3
Dimensions of Adult-Sized Wheelchair

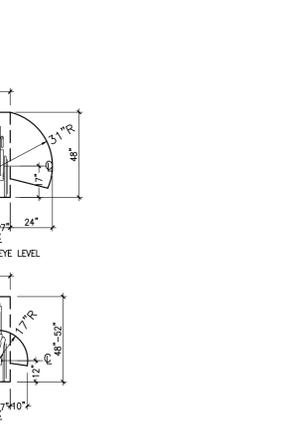


FIGURE A3 (a)
Dimensions of Adult-Sized Wheelchair

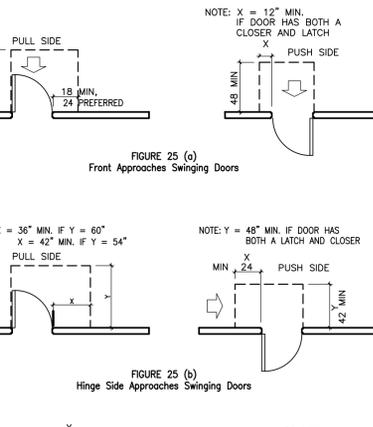


FIGURE 25 (a) through (f)
Door Approaches and Clearances

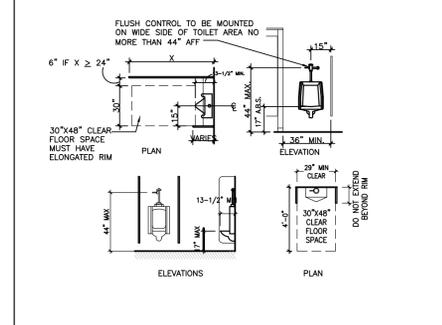


FIGURE 29 (a) through (c)
Grab Bar & Handrail Req's

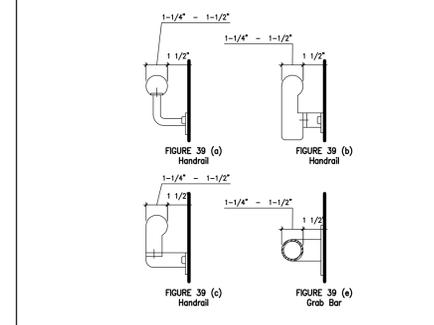


FIGURE 39 (a) through (c)
Handrail Details

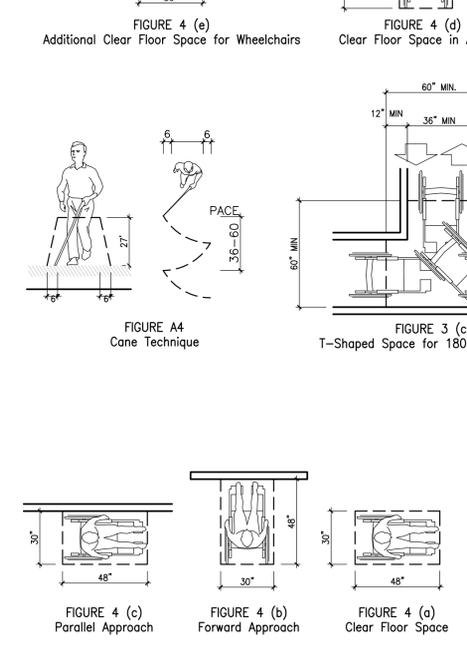


FIGURE 1 through 4
Space Allowances

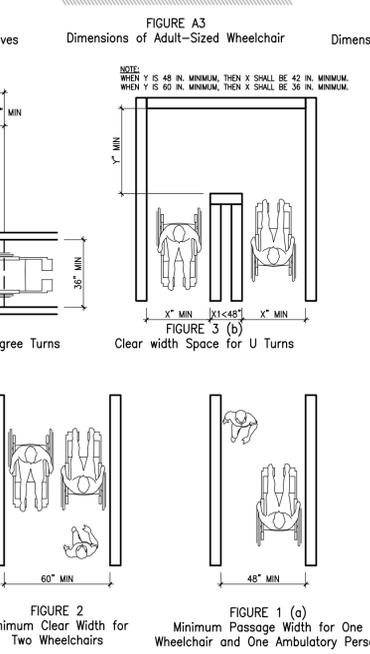


FIGURE 2 through 4
Minimum Clear Widths

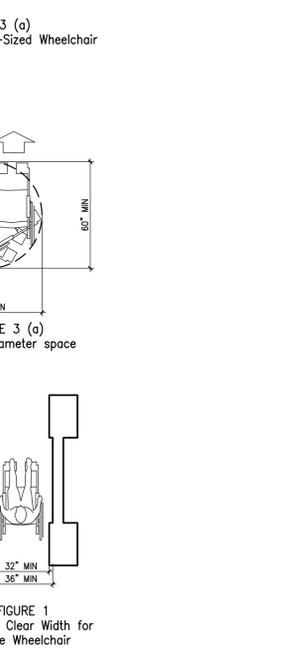


FIGURE 1 through 3
Minimum Passage Widths

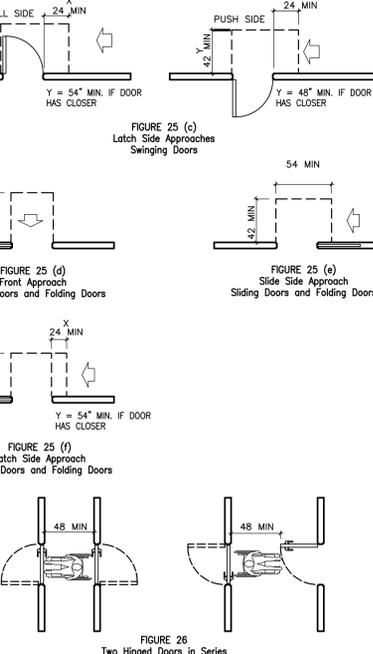


FIGURE 25 (a) through (f)
Door Approaches and Clearances

8 ADULT URINAL CLEARANCES
SCALE: N.T.S.

3 GRAB BAR & HANDRAIL REQ'S
SCALE: N.T.S.

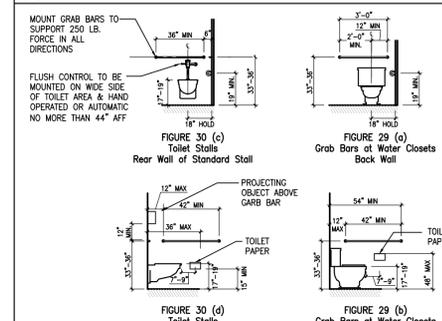


FIGURE 29 (a) through (c)
Grab Bar & Handrail Req's

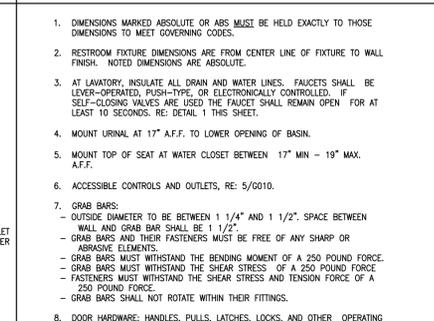


FIGURE 39 (a) through (c)
Handrail Details

7 ADULT WATER CLOSETS
SCALE: 3/16\"/>

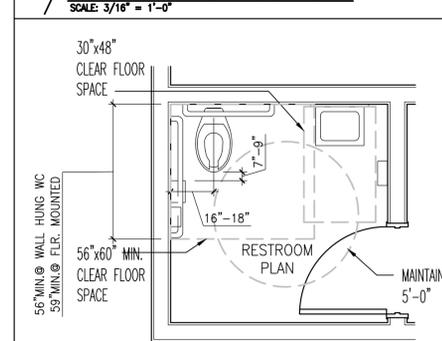


FIGURE 30 (a) through (c)
Toilet Stall and Water Closet Clearances

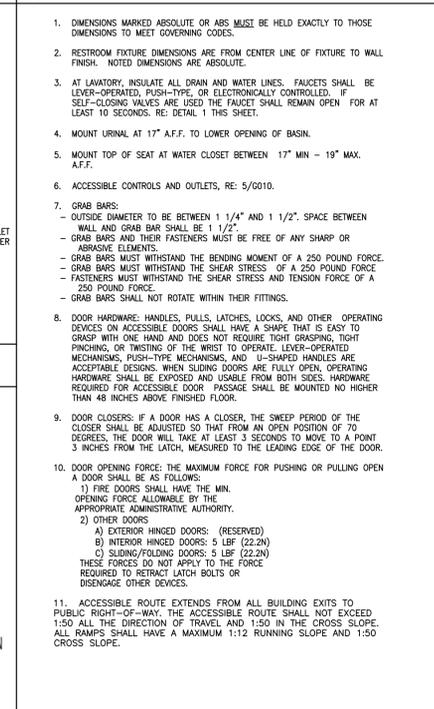


FIGURE 29 (a) through (c)
Grab Bar & Handrail Req's

26 SPACE ALLOWANCES
SCALE: 1/4\"/>

24 ADULT FORWARD REACH
SCALE: 3/8\"/>

19 ADULT SIDE REACH
SCALE: 1/2\"/>

11 MIN. DOOR CLEARANCES
SCALE: 1/4\"/>

6 ACCESS RESTROOM PLAN
SCALE: 1/4\"/>

1 ACCESSIBILITY NOTES

REGISTERED ARCHITECT
ROBERT R. HIGHTS
STATE OF TEXAS
14939

ISSUE DATES

DATE	ISSUE NAME
07/09/15	OWNER'S REVIEW
08/11/15	BID SET
09/16/15	ADDENDUM #1

HOUSTON
1111 North Loop West, Suite 800
Houston, Texas 77008
713 889 1103 V

DALLAS
2015 US Energy Plaza, Suite 210
Ft. Worth, Texas 75224
817 480 7256 V

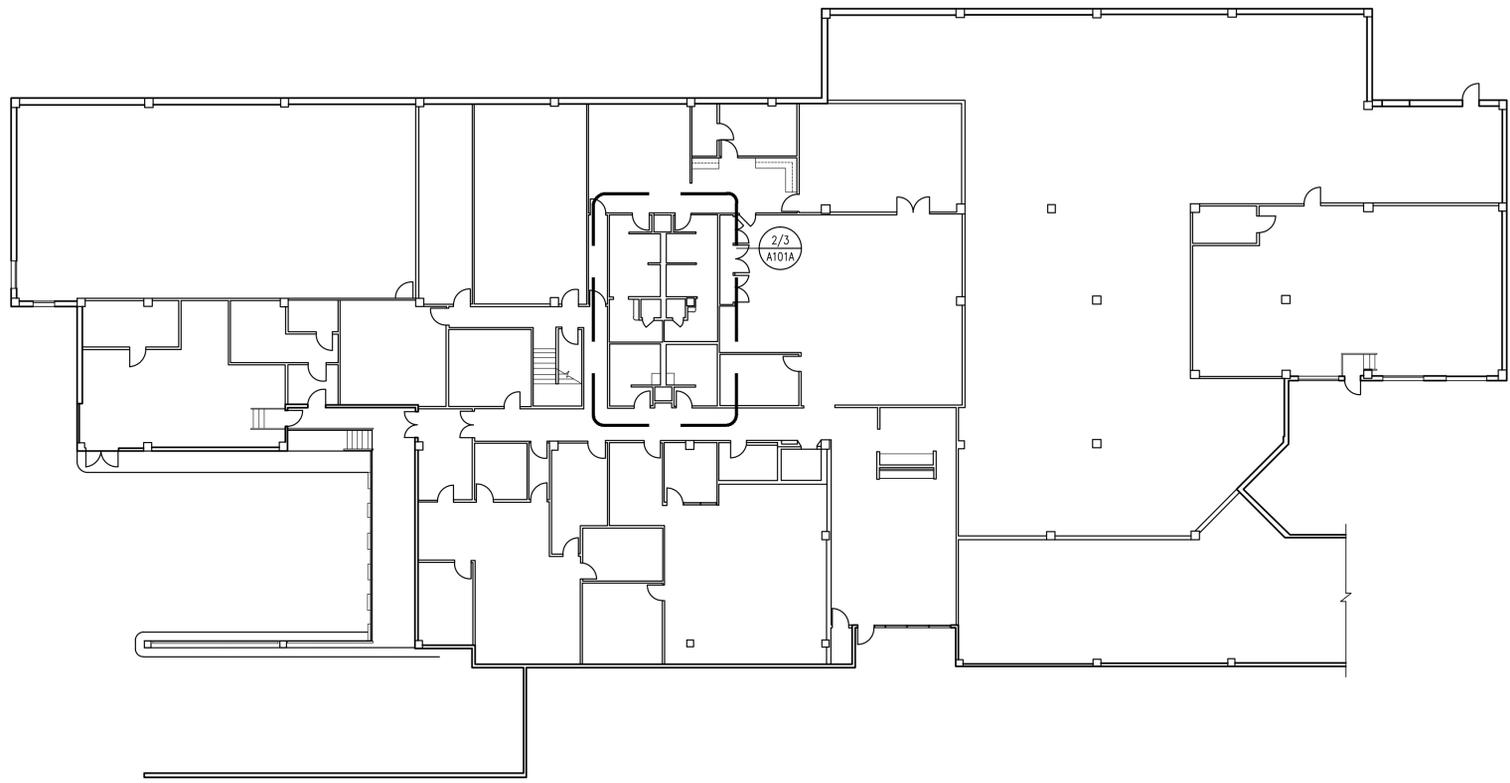
HEIGHTS VENTURE ARCHITECTS, L.L.P.

TENANT FINISH OUT FOR
CITY OF CARROLLTON CITY HALL
1945 E. JACKSON ROAD
CARROLLTON, TEXAS 75006

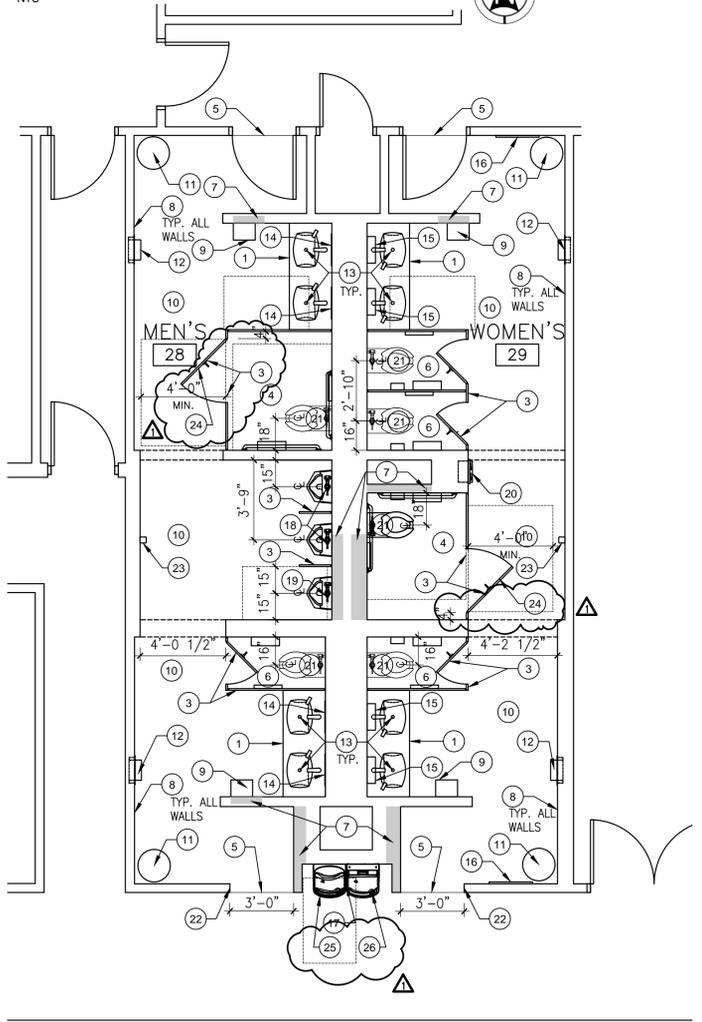
PROJECT NO. 14065
DATE: 09/16/15
CHECKED BY: TL
DRAWN BY: TL
FILE NAME:

SHEET TITLE
ACCESS DETAILS

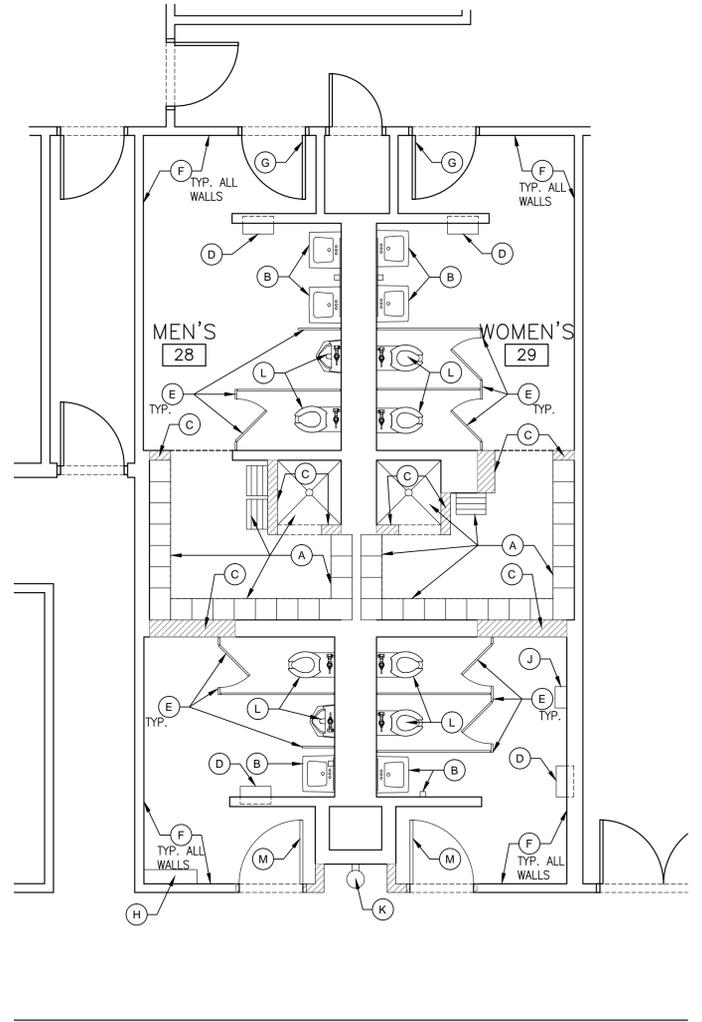
SHEET NUMBER
G010



1 KEY PLAN - BASEMENT
NTS



3 PROPOSED PLAN
Scale: 1/4" = 1'-0"



2 EXISTING/DEMO PLAN
Scale: 1/4" = 1'-0"

PARTITION NOTES

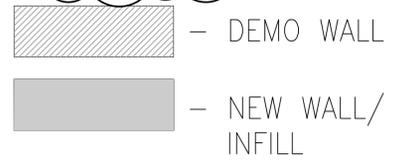
- REFER TO ACCESSIBILITY SHEET 0010 FOR ADDITIONAL INFORMATION.
- DESIGN CRITERIA:
 - ALLOWABLE DEFLECTION = $\frac{1}{240}$ FOR LISTED LIMITING HEIGHTS
 - 25 GA. MTL. STUDS AT 16" O.C.
 - $\frac{5}{8}$ " TYPE "X" GYPSUM BOARD
- SOUND RATED PARTITIONS:
 - PROVIDE 3" THICK SOUND ATTENUATION BATTS OR BLANKETS (R-19) UNLESS NOTED OTHERWISE.
 - FILL ALL DECK VOIDS WITH SOUND ATTENUATION MATERIAL.
 - SEAL PARTITION PERIMETER AND ALL PENETRATIONS WITH ACOUSTICAL SEALANT.
- DAMP LOCATIONS:
 - PROVIDE WATER RESISTIVE GYPSUM BOARD AT RESTROOM WALLS, CEMENTITIOUS BD. AT ALL TILED CONDITIONS.
- BRACING:
 - PROVIDE RIGID BRACING FOR STEEL STUD PARTITIONS EXCEEDING THE LIMITING HEIGHT.
 - PROVIDE RIGID BRACING FOR STEEL STUD PARTITIONS THAT STOP ABOVE THE CEILING LINE.
 - REFER TO UL RATED PARTITION DESCRIPTIONS FOR DETAILED CONSTRUCTION NOTES.

EXISTING/DEMO KEY NOTES

- REMOVE SHOWER, SURROUNDING BENCH & LOCKERS W/ BUILT IN WALL.
- REMOVE & DISCARD EXISTING SINK, MIRROR & SOAP DISPENSER.
- DEMO WALL AT SHADED LOCATIONS.
- REMOVE EXISTING PAPER TOWEL/TRASH DISPENSER.
- REMOVE & DISCARD PARTITIONS, STALL DOORS & TOILET ACCESSORIES.
- DEMO & DISCARD EXISTING WALL TILES & SUBSTRATES.
- PREPARE DOOR AS REQUIRED FOR NEW STAIN.
- REMOVE & DISCARD EXISTING WALL MOUNTED SHELF.
- NOT USED.
- REMOVE & DISCARD EXISTING SANITARY NAPKIN VENDOR.
- REMOVE & DISCARD EXISTING WATER FOUNTAIN.
- REMOVE & SAVE EXISTING TOILET OR URINAL.
- REMOVE DOOR. REPAIR FRAME TO PATCH EXISTING HINGE LOCATIONS.

PROPOSED KEY NOTES

- NEW SINK COUNTER. RE: 9&10/0010, A201/MATERIAL SCHEDULE
- NOT USED.
- NEW TOILET/URINAL PARTITIONS & STALL DOORS. RE: A201/TOILET ACCESSORIES SCHEDULE
- ACCESSIBLE STALLS TO INCLUDE NEW GRAB BARS, 2-ROLL TOILET PAPER DISPENSER, SEAT COVER DISPENSER & CLOTHES HOOK. RE: A201/TOILET ACCESSORIES SCHEDULE RE: 0010 FOR ACCESSIBILITIES HT REQUIREMENTS
- PROVIDE MARBLE SADDLE TRANSITION STRIP AT DOORWAY BETWEEN TWO FLOOR FINISHES. CONFIRM SOLUTION WITH OWNER. RE: 14/G010
- STANDARD STALLS TO INCLUDE NEW 2-ROLL TOILET PAPER DISPENSER, SEAT COVER DISPENSER, CLOTHES HOOK & NAPKIN DISPOSAL (WOMEN ONLY). RE: A201/TOILET ACCESSORIES SCHEDULE
- NEW WALL CONSTRUCTION. (SHADED AREA)
- INSTALL NEW SUBSTRATE ON ALL WALLS INSIDE RESTROOM AS FOLLOWS: $\frac{5}{8}$ " CEMENTITIOUS BACKER BOARD BEHIND TILE, $\frac{5}{8}$ " WATER-RESISTANT GYPSUM BOARD ABOVE TILE. RE: SPECIFICATIONS, A201
- NEW AUTOMATIC SURFACE-MOUNTED ROLL TOWEL DISPENSER. RE: A201/TOILET ACCESSORIES SCHEDULE
- NEW FLOORING. RE: A201
- NEW TRASH BIN. RE: A201/TOILET ACCESSORIES SCHEDULE
- NEW HAND DRYER WITH ADA RECESS KIT. RE: A201/TOILET ACCESSORIES SCHEDULE
- NEW SINK, FAUCET & SOAP DISPENSER. RE: A201/TOILET ACCESSORIES SCHEDULE
- NEW MIRROR. RE: A201/TOILET ACCESSORIES SCHEDULE
- NEW STORAGE CABINET WITH MIRROR. RE: A201/TOILET ACCESSORIES SCHEDULE
- NEW FULL LENGTH MIRROR. RE: A201/TOILET ACCESSORIES SCHEDULE
- NEW WATER FOUNTAIN. RE: A201/TOILET ACCESSORIES SCHEDULE
- RELOCATED URINAL
- NEW ACCESSIBLE URINAL FIXTURE
- NEW SANITARY NAPKIN VENDOR. A201/TOILET ACCESSORIES SCHEDULE
- RE-INSTALL EXISTING TOILET. VERIFY/MODIFY LOCATION OF TOILET IN ACCESSIBLE STALL PER TAS REQUIREMENTS.
- REPAIR END OF OPENING AFTER DOOR FRAME IS REMOVED. PROVIDE APPROPRIATE SHEATHING FOR NEW FINISHES, AS SPECIFIED ON A201.
- TOUGH GUY PROGRAMMABLE AIRE FRESHENER DISPENSER: MODEL #22XC1A. MOUNT BASE OF DISPENSER @ 6'-0" AFF. PER MANUFACTURER'S RECOMMENDATIONS
- ACCESSIBLE STALL DOOR TO BE SELF CLOSING W/ DOOR PULL ON BOTH SIDES.
- DRINKING FOUNTAIN SPOT HEIGHT TO BE 36" MAX A.F.F.
- DRINKING FOUNTAIN SPOT HEIGHT TO BE BETWEEN 38" AND 43" A.F.F.



GENERAL DEMOLITION NOTES:

- DEMOLITION CONTRACTOR SHALL GENERALLY DO ANY CUTTING FOR, AND REMOVE ALL ITEMS, WHETHER SPECIFICALLY INDICATED OR NOT, WHICH WOULD INTERFERE WITH OR BE INCONGRUOUS TO THE PROPOSED CONSTRUCTION OR NEW FINISHES.
- DEMOLITION CONTRACTOR SHALL PROVIDE AND PLACE ALL SHORING OR STRUCTURAL UNDERPINNING REQUIRED TO SUPPORT EXISTING CONSTRUCTION DURING ALL PHASES OF CONSTRUCTION.
- DEMOLITION CONTRACTOR SHALL PROVIDE ALL MATERIALS NECESSARY TO SUITABLY SCREEN DEMOLITION WORK FROM PUBLIC VIEW AND PROTECT THE PUBLIC'S SAFETY, AS WELL AS COMPLY WITH ALL LOCAL CODES AND ORDINANCES FOR REMOVAL OF MATERIAL.
- ALL ITEMS AND FINISHES WHICH ARE TO REMAIN SHALL BE PROTECTED AGAINST DAMAGE DURING DEMOLITION. ANY DAMAGE WHICH OCCURS DURING DEMOLITION SHALL BE CORRECTED BY THE DEMOLITION CONTRACTOR AT THE CONTRACTOR'S EXPENSE, UNDER THE SUPERVISION OF THE GENERAL CONTRACTOR.
- DEMOLITION CONTRACTOR SHALL PROVIDE ANY BARRICADES, SUPPORTS, RAILINGS, ETC. AS REQUIRED BY O.S.H.A. AS WELL AS TO PROVIDE SAFE WORKING CONDITIONS.
- ANY ASBESTOS ENCOUNTERED DURING CONSTRUCTION SHALL BE REMOVED OR ENCAPSULATED BY A LICENSED ASBESTOS CONTRACTOR IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL CODES AND ORDINANCES.
- ALL EXISTING MECHANICAL TO REMAIN SHALL BE SUSPENDED FROM THE STEEL STRUCTURE IN ITS EXISTING LOCATION OR RELOCATED AS REQUIRED BY REMODEL PLANS.
- CONTRACTOR SHOULD USE EXTREME CARE AND CAUTION WHEN REMOVING REQUIRED STRUCTURE OR NON-STRUCTURAL ELEMENTS TO INSURE THAT STRUCTURAL MEMBERS ARE NOT DISTURBED, DAMAGED OR ALTERED.
- CONTRACTOR SHALL CONFORM WITH ALL LOCAL, STATE AND FEDERAL GUIDELINES CONCERNING SITE SAFETY, DUST ABATEMENT AND CONTROL, AND DISPOSAL.
- PROTECT WALLS TO REMAIN DURING DEMOLITION AND CONSTRUCTION. REPAIR ANY DAMAGE TO "AS NEW" CONDITION.
- COORDINATE ANY SLAB DEMO WORK FOR PROPOSED PLUMBING & ELECTRICAL TRENCHING W/ PLUMBING & ELECTRICAL SHEET(S).

ELECTRICAL DEMOLITION NOTES:

- BEFORE SUBMITTING BID, THE ELECTRICAL CONTRACTOR IS INSTRUCTED TO VISIT THE SITE AND EXAMINE THE PREMISES TO FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS AND LOCATIONS OF ALL EQUIPMENT AND DEVICES. FAILURE TO DO SO SHALL NOT BE A CAUSE FOR ANY EXTRA COMPENSATION AFTER AWARD OF THE CONTRACT.
- MAKE NECESSARY MODIFICATIONS AND ADJUSTMENTS TO ALL ELECTRICAL ITEMS AND EQUIPMENT, BOTH NEW AND EXISTING, AS MAY BE REQUIRED BY THE ALTERATIONS AND ADDITIONS.
- DISCONNECT AT SOURCE AND REMOVE EXISTING ELECTRICAL MATERIALS AND EQUIPMENT INCLUDING, BUT NOT LIMITED TO LIGHT FIXTURES, WIRING DEVICES, CONDUIT WIRES, AND ALL OTHER ELECTRICAL ITEMS WHICH ARE RENDERED OBSOLETE BY THESE ALTERATIONS AND ADDITIONS. ALL EQUIPMENT WHICH THE OWNER DESIRES TO KEEP SHALL BE REMOVED TO LOCATIONS DESIGNATED. ALL OTHER EQUIPMENT SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE PROMPTLY REMOVED FROM THE SITE.
- ELECTRICAL CONTRACTOR SHALL REFER TO THE DRAWINGS TO DETERMINE THE EXTENT OF REMODELED AREAS. ALL NEW CONDUITS SHALL BE RUN CONCEALED IN AREAS WHERE CEILING ARE INSTALLED. ALL AREAS WHERE SURFACE RACEWAY IS USED MUST BE APPROVED BY THE ARCHITECT AND OWNER. ALL NEW WALL INSTALLATIONS SHALL HAVE CONCEALED CONDUIT.
- WHERE EXISTING EQUIPMENT AND WIRING IS REMOVED AND SUCH REMOVAL RESULTS IN A BOX OR FITTING THAT IS NO LONGER NEEDED, SUCH BOX OR FITTING SHALL BE DISCONNECTED AND REMOVED AND ALL CONDUITS AND WIRING FROM THIS BOX OR FITTING BACK TO THE PRECEDING BOX OR FITTING SHALL BE REMOVED. PROVIDE CAPS AND PLUGS FOR ALL UNUSED OPENINGS IN THE BOX OR FITTING THAT REMAINS. WHEN AN OUTLET IS BEING REMOVED IN THE MIDDLE OF A RUN THE CONTRACTOR SHALL "BRIDGE" THE CIRCUIT.
- WHERE NEW ELECTRICAL OR WIRING IS INDICATED OR REQUIRED, THE CONTRACTOR SHALL FURNISH AND INSTALL NEW CONDUITS AND WIRING. NO EXISTING CONDUITS, RACEWAYS, CONDUITORS, WIRING OR EQUIPMENT SHALL BE REUSED, EXCEPT WHERE OTHERWISE NOTED ON PLANS OR AS APPROVED BY THE ARCHITECT.

PLUMBING DEMOLITION NOTES

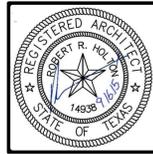
- BEFORE SUBMITTING BID, THE PLUMBING CONTRACTOR IS INSTRUCTED TO VISIT THE SITE AND EXAMINE THE PREMISES TO FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS AND LOCATION OF ALL EQUIPMENT AND FIXTURES, AND TO APPRAISE THE REMOVING, REMOVAL AND/OR RELOCATION OF ALL EXISTING EQUIPMENT AND FIXTURES AS INDICATED ON THE DRAWINGS AND INCLUDE THE COST OF ALL SUCH WORK. FAILURE TO DO SO SHALL NOT BE A CAUSE FOR ANY EXTRA COMPENSATION AFTER AWARD OF THE CONTRACT.
- PLUMBING CONTRACTOR SHALL REMOVE ALL PLUMBING LINES BACK TO THEIR BEGINNING OR END POINTS AND CAP THEM IN AREAS TO BE DEMOLISHED, UNLESS SPECIFICALLY NOTED OTHERWISE.

MECHANICAL DEMOLITION NOTES:

- BEFORE SUBMITTING BID, THE MECHANICAL CONTRACTOR IS INSTRUCTED TO VISIT THE SITE AND EXAMINE THE PREMISES TO FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS AND LOCATIONS OF ALL EQUIPMENT AND DEVICES. FAILURE TO DO SO SHALL NOT BE A CAUSE FOR ANY EXTRA COMPENSATION AFTER AWARD OF THE CONTRACT.
- MAKE NECESSARY MODIFICATIONS AND ADJUSTMENTS TO ALL MECHANICAL ITEMS AND EQUIPMENT, BOTH NEW AND EXISTING, AS MAY BE REQUIRED BY THE ALTERATIONS AND ADDITIONS.
- MECHANICAL CONTRACTOR SHALL REMOVE ALL MECHANICAL DUCTS BACK TO THEIR BEGINNING OR END POINTS AND CAP THEM IN AREAS TO BE DEMOLISHED, UNLESS SPECIFICALLY NOTED OTHERWISE.
- MECHANICAL CONTRACTOR SHALL REMOVE ALL MECHANICAL EQUIPMENT ON ROOF OR IN WALLS AND IN CEILING AND THE OPENINGS MUST BE REPLACED WITH EQUAL WALL, ROOFING, OR CEILING MATERIALS PER NEW PLAN FINISHES.
- ALL CHANGES IN MECHANICAL DUCTWORK MUST HAVE A BALANCE OF AIR WHEN REMODEL IS FINISHED TO INSURE PROPER WORKING ORDER OF AIR SYSTEM.

GENERAL CONSTRUCTION NOTES

- DO NOT SCALE THE DRAWINGS. CONTACT THE ARCHITECT TO VERIFY OR CONFIRM UNKNOWN DIMENSIONS.
- GENERAL CONTRACTOR SHALL VERIFY WITH DIMENSIONS IN PLANS BEFORE COMMENCING ANY WORK. CONTRACTOR TO INFORM ARCHITECT OF ANY DISCREPANCIES.
- ALL OTHER WORK REQUIRED BUT NOT SPECIFIED IN THESE DOCUMENTS, SHALL BE PERFORMED BY CONTRACTORS TO MEET THE GENERAL PRACTICING STANDARDS, BUILDING CODES AND MANUFACTURE'S INSTRUCTIONS AND SPECIFICATIONS.
- CONTRACTOR SHALL OBTAIN ALL PERMITS AND INSPECTIONS AND COMPLY WITH ALL CODES, LAWS, ORDINANCES, RULES AND REGULATIONS OF ALL PUBLIC AUTHORITIES (FEDERAL, STATE, OR LOCAL) GOVERNING THE WORK. THE MOST STRINGENT SHALL APPLY.
- CONTRACTOR IS RESPONSIBLE FOR HAVING THOROUGH KNOWLEDGE OF THE LANDLORD'S CRITERIA, CONSTRUCTION RULES AND REGULATIONS PRIOR TO COMMENCING CONSTRUCTION. FAILURE TO OBTAIN COPIES OF SAID RULES AND REGULATIONS DO NOT RELIEVE THE GC OR SUBCONTRACTORS OF ANY RESPONSIBILITIES WITHIN THOSE DOCUMENTS.
- ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, CLEANED, AND CONDITIONED PER MANUFACTURE'S INSTRUCTIONS. IN CASE OF DIFFERENCES BETWEEN THE MANUFACTURER'S INSTRUCTION AND THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE PROCEEDING.
- ENSURE SURFACES TO RECEIVE FINISHES ARE CLEAN, TRUE AND FREE OF IRREGULARITIES.
- ALL NEW WALLS TO BE WITH SOUND INSULATION UNLESS OTHERWISE NOTED.
- ALL INTERIOR DIMENSIONS ARE FROM FINISHED FACE TO FINISHED FACE OF GYP BOARD UNLESS OTHERWISE NOTED.
- PROVIDE 5/8" FRT PLYWOOD BACKING WHERE THERE IS WALL MOUNTED SHELVING OR EQUIPMENT AND OR FIXTURES.
- GC SHALL MAINTAIN PROPER EGRESS AISLE AT ALL TIMES DURING CONSTRUCTION.
- ALL MILLWORK, SHELVING & CABINETS ARE CUSTOM CABINETRY PER TENANT'S SPECIFICATIONS.
- CONFIRM ALL FIXTURES & EQUIPMENT WITH MANUFACTURE CUT-SHEET FOR INSTALLATION PER MANUFACTURERS REQUIREMENT.
- REFER TO SHEET A102 FOR DOOR & FIXTURE SCHEDULES.
- ALL NEW PARTITIONS TO BE 3-5/8" MTL. STUD W/ 1/2" TYPE-X GYP. BD. AND 1/2" CEMENTITIOUS FIBERBOARD WITH TILE (RE: A201, INTR. ELEV.) AT ALL EXPOSED SURFACES. U.N.O.
- ALL FLOOR DRAINS TO REMAIN AT CURRENT LOCATION AND ELEVATION. GC TO CHIP OUT EXISTING TILE AND SLOPE NEW FLOORING TO DRAINS WHILE MAINTAINING EXISTING SLOPE.



ISSUE DATES	
DATE	ISSUE NAME
07/09/15	OWNER'S REVIEW
08/11/15	BID SET
09/16/15	ADDENDUM #1



HOUSTON
14000 West Loop, Suite 800
Houston, Texas 77028
713.869.1103 V

DALLAS
8717 Legacy Drive, Suite 240
Dallas, Texas 75247
817.480.7252 V

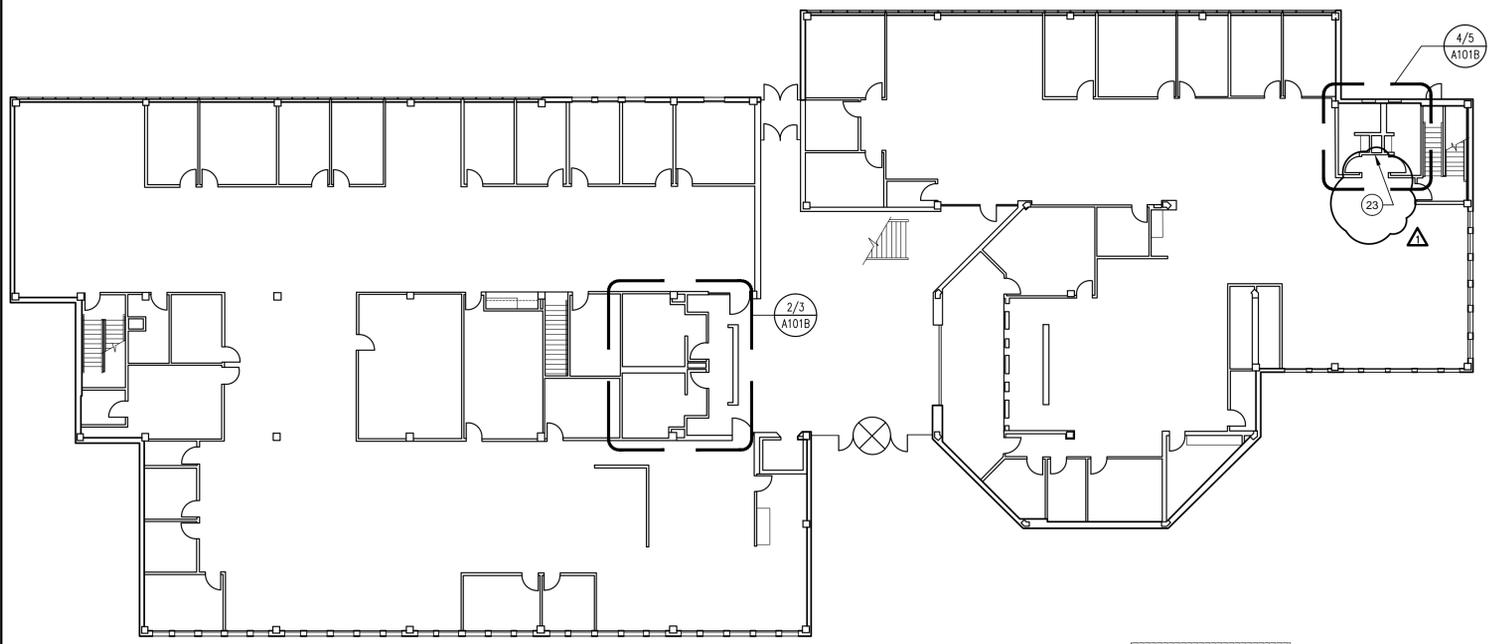
HEIGHTS VENTURE ARCHITECTS, P.C.

TENANT FINISH OUT FOR
CITY OF CARROLLTON CITY HALL
1945 E. JACKSON ROAD
CARROLLTON, TEXAS 75006

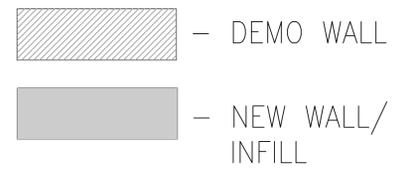
PROJECT NO.	14065
DATE:	09/16/15
CHECKED BY:	ND
DRAWN BY:	TL
FILE NAME:	

SHEET TITLE
BASEMENT PLANS

SHEET NUMBER
A101A



1 KEY PLAN - 1ST FLOOR
NTS



PROPOSED KEY NOTES: #

1. NEW SINK COUNTER. RE: 9&10/G010, A201/MATERIAL SCHEDULE
2. NEW WATER FOUNTAIN. RE: A201/TOILET ACCESSORIES SCHEDULE
3. NEW FULL HEIGHT WALL - 3/8" GYP. OVER 3-5/8" METAL STUDS.
4. NEW TOILET/URNAL PARTITIONS & STALL DOORS. RE: A201/TOILET ACCESSORIES SCHEDULE
5. NOT USED.
6. STANDARD STALLS TO INCLUDE NEW 2-ROLL TOILET PAPER DISPENSER, SEAT COVER DISPENSER, CLOTHES HOOK & NAPKIN DISPOSAL (WOMEN ONLY). RE: A201/TOILET ACCESSORIES SCHEDULE
7. RE-INSTALL EXISTING TOILET/URNAL. VERIFY/MODIFY LOCATION OF TOILET IN ACCESSIBLE STALL PER TAS REQUIREMENTS.
8. NEW HAND DRYER W/ ADA RECESS KIT. RE: A201/TOILET ACCESSORIES SCHEDULE
9. PROVIDE MARBLE SADDLE TRANSITION STRIP AT DOORWAY BETWEEN TWO FLOOR FINISHES. CONFIRM SOLUTION WITH OWNER. RE: 14/G010
10. INSTALL NEW SUBSTRATE ON ALL WALLS INSIDE RESTROOM AS FOLLOWS: 3/8" CEMENTITIOUS BACKER BOARD BEHIND TILE, 3/8" WATER-RESISTANT GYPBOARD ABOVE TILE. RE: SPECIFICATIONS, A201
11. NEW MIRROR. RE: A201/TOILET ACCESSORIES SCHEDULE
12. NEW BABY CHANGING STATION. RE: A201/TOILET ACCESSORIES SCHEDULE
13. NEW TRASH BIN. RE: A201/TOILET ACCESSORIES SCHEDULE
14. NEW STORAGE CABINET WITH MIRROR. RE: A201/TOILET ACCESSORIES SCHEDULE. RE: G010 FOR ACCESSIBILITIES HT REQUIREMENTS
15. NEW FLOORING. RE: A201
16. NEW DOOR STOP. RE: A201/TOILET ACCESSORIES SCHEDULE
17. TRASH CHUTE W/ TRASH BIN BELOW. RE: A201/TOILET ACCESSORIES SCHEDULE
18. NEW SINK, FAUCET & SOAP DISPENSER. RE: A201/TOILET ACCESSORIES SCHEDULE
19. NEW FULL LENGTH MIRROR. RE: A201/TOILET ACCESSORIES SCHEDULE
20. NEW SANITARY NAPKIN VENDOR. RE: A201/TOILET ACCESSORIES SCHEDULE
21. ACCESSIBLE STALLS TO INCLUDE NEW GRAB BARS, 2-ROLL TOILET PAPER DISPENSER, SEAT COVER DISPENSER & CLOTHES HOOK. RE: A201/TOILET ACCESSORIES SCHEDULE
22. TOUGH GUY PROGRAMMABLE AIR FRESHENER DISPENSER. MODEL #ZZXC1A. MOUNT BASE OF DISPENSER @ 6'-0" AFF. PER MANUFACTURERS RECOMMENDATIONS.

PARTITION NOTES

1. REFER TO ACCESSIBILITY SHEET G010 FOR ADDITIONAL INFORMATION.
2. DESIGN CRITERIA:
 - A. ALLOWABLE DEFLECTION = L/240 FOR LISTED LIMITING HEIGHTS
 - B. 25 GA. MTL. STUDS AT 16" O.C.
 - C. 3/8" TYPE "X" GYPSUM BOARD
3. SOUND RATED PARTITIONS:
 - A. PROVIDE 3" THICK SOUND ATTENUATION BATS OR BLANKETS (R-19) UNLESS NOTED OTHERWISE.
 - B. FILL ALL BECK VOIDS WITH SOUND ATTENUATION MATERIAL.
 - C. SEAL PARTITION PERIMETER AND ALL PENETRATIONS WITH ACOUSTICAL SEALANT.
4. DAMP LOCATIONS:
 - A. PROVIDE WATER RESISTIVE GYPSUM BOARD AT RESTROOM WALLS, CEMENTITIOUS BD. AT ALL TILED CONDITIONS.
5. BRACING:
 - A. PROVIDE RIGID BRACING FOR STEEL STUD PARTITIONS EXCEEDING THE LIMITING HEIGHT.
 - B. PROVIDE RIGID BRACING FOR STEEL STUD PARTITIONS THAT STOP ABOVE THE CEILING LINE.
 - C. REFER TO UL RATED PARTITION DESCRIPTIONS FOR DETAILED CONSTRUCTION NOTES.

EXISTING/DEMO KEY NOTES: #

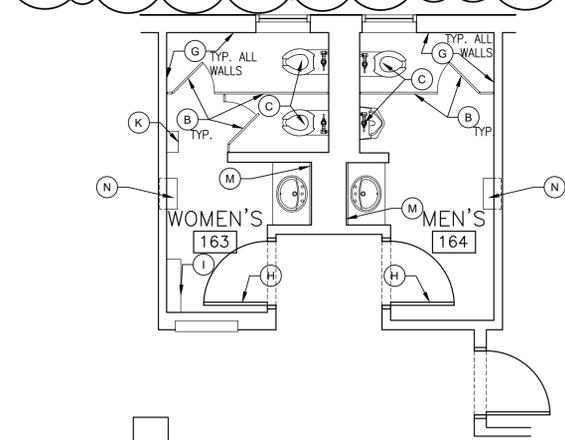
- A. REMOVE & DISCARD EXISTING SINKS, MIRROR & SOAP DISPENSERS.
- B. REMOVE & DISCARD PARTITIONS, STALL DOORS & TOILET ACCESSORIES.
- C. REMOVE & SAVE EXISTING TOILET OR URINAL.
- D. REMOVE & DISCARD EXISTING PAPER TOWEL/TRASH DISPENSER.
- E. REMOVE & DISCARD EXISTING BABY CHANGING STATION.
- F. DEMO WALL AT SHADED LOCATIONS.
- G. DEMO & DISCARD EXISTING WALL TILES & SUBSTRATES.
- H. PREPARE DOOR AS REQUIRED FOR NEW STAIN.
- I. REMOVE & DISCARD EXISTING WALL MOUNTED SHELF.
- J. NOT USED.
- K. REMOVE & DISCARD EXISTING SANITARY NAPKIN VENDOR.
- L. REMOVE & DISCARD EXISTING WATER FOUNTAIN.
- M. REMOVE & DISCARD EXISTING MIRROR.
- N. EXISTING HAND TOWEL DISPENSER TO REMAIN.

23. PROVIDE SIGN STATING "NEAREST ACCESSIBLE RESTROOM AND DRINKING FOUNTAIN LOCATED IN LOBBY". SIGN TO COMPLY WITH TAS SECTION 703.5 AND INCLUDE INTERNATIONAL SYMBOL FOR ACCESSIBILITY PER TAS 703.7.2.1.

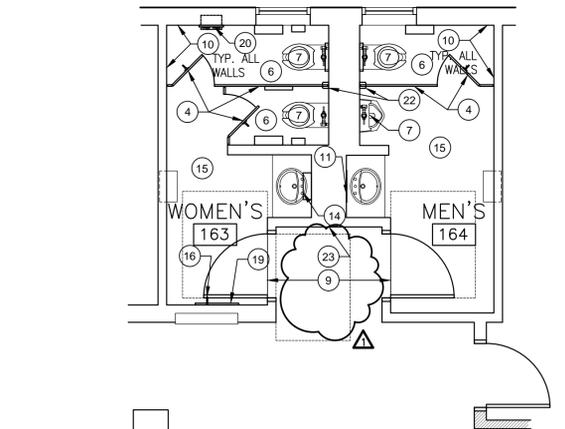
24. ACCESSIBLE STALL DOOR TO BE SELF CLOSING WITH DOOR PULL ON BOTH SIDES.

25. DRINKING FOUNTAIN SPOT HEIGHT TO BE 36" MAX A.F.F.

26. DRINKING FOUNTAIN SPOT HEIGHT TO BE 38" + 43" A.F.F.



4 EXISTING/DEMO PLAN
Scale: 1/4" = 1'-0"



5 PROPOSED PLAN
Scale: 1/4" = 1'-0"

GENERAL DEMOLITION NOTES:

1. DEMOLITION CONTRACTOR SHALL GENERALLY DO ANY CUTTING FOR, AND REMOVE ALL ITEMS, WHETHER SPECIFICALLY INDICATED OR NOT, WHICH WOULD INTERFERE WITH OR BE INCONGRUOUS TO THE PROPOSED CONSTRUCTION OR NEW FINISHES.
2. DEMOLITION CONTRACTOR SHALL PROVIDE AND PLACE ALL SHORING OR STRUCTURAL UNDERPINNING REQUIRED TO SUPPORT EXISTING CONSTRUCTION DURING ALL PHASES OF CONSTRUCTION.
3. DEMOLITION CONTRACTOR SHALL PROVIDE ALL MATERIALS NECESSARY TO SUITABLY SCREEN DEMOLITION WORK FROM PUBLIC VIEW AND PROTECT THE PUBLIC'S SAFETY, AS WELL AS COMPLY WITH ALL LOCAL CODES AND ORDINANCES FOR REMOVAL OF MATERIAL.
4. ALL ITEMS AND FINISHES WHICH ARE TO REMAIN SHALL BE PROTECTED AGAINST DAMAGE DURING DEMOLITION. ANY DAMAGE WHICH OCCURS DURING DEMOLITION SHALL BE CORRECTED BY THE DEMOLITION CONTRACTOR AT THE CONTRACTOR'S EXPENSE, UNDER THE SUPERVISION OF THE GENERAL CONTRACTOR.
5. DEMOLITION CONTRACTOR SHALL PROVIDE ANY BARRICADES, SUPPORTS, RAILINGS, ETC. AS REQUIRED BY O.S.H.A., AS WELL AS TO PROVIDE SAFE WORKING CONDITIONS.
6. ANY ASBESTOS ENCOUNTERED DURING CONSTRUCTION SHALL BE REMOVED OR ENCAPSULATED BY A LICENSED ASBESTOS CONTRACTOR IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL CODES AND ORDINANCES.
7. ALL EXISTING MECHANICAL TO REMAIN SHALL BE SUSPENDED FROM THE STEEL STRUCTURE IN ITS EXISTING LOCATION OR RELOCATED AS REQUIRED BY REMODEL PLANS.
8. CONTRACTOR SHOULD USE EXTREME CARE AND CAUTION WHEN REMOVING REQUIRED STRUCTURE OR NON-STRUCTURAL ELEMENTS TO INSURE THAT STRUCTURAL MEMBERS ARE NOT DISTURBED DAMAGED OR ALTERED.
9. CONTRACTOR SHALL CONFORM WITH ALL LOCAL, STATE AND FEDERAL GUIDELINES CONCERNING SITE SAFETY, DUST ABATEMENT AND CONTROL, AND DISPOSAL.
10. PROTECT WALLS TO REMAIN DURING DEMOLITION AND CONSTRUCTION. REPAIR ANY DAMAGE TO "AS NEW" CONDITION.
11. COORDINATE ANY SLAB DEMO WORK FOR PROPOSED PLUMBING & ELECTRICAL TRENCHING W/ PLUMBING & ELECTRICAL SHEETS(S).

ELECTRICAL DEMOLITION NOTES:

1. BEFORE SUBMITTING BID, THE ELECTRICAL CONTRACTOR IS INSTRUCTED TO VISIT THE SITE AND EXAMINE THE PREMISES TO FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS AND LOCATIONS OF ALL EQUIPMENT AND DEVICES. FAILURE TO DO SO SHALL NOT BE A CAUSE FOR ANY EXTRA COMPENSATION AFTER AWARD OF THE CONTRACT.
2. MAKE NECESSARY MODIFICATIONS AND ADJUSTMENTS TO ALL ELECTRICAL ITEMS AND EQUIPMENT, BOTH NEW AND EXISTING, AS MAY BE REQUIRED BY THE ALTERATIONS AND ADDITIONS.
3. DISCONNECT AT SOURCE AND REMOVE EXISTING ELECTRICAL MATERIALS AND EQUIPMENT INCLUDING, BUT NOT LIMITED TO LIGHT FIXTURES, WIRING DEVICES, CONDUIT WIRES, AND ALL OTHER ELECTRICAL ITEMS WHICH ARE RENDERED OBSOLETE BY THESE ALTERATIONS AND ADDITIONS. ALL EQUIPMENT WHICH THE OWNER DESIRES TO KEEP SHALL BE REMOVED TO LOCATIONS DESIGNATED. ALL OTHER EQUIPMENT SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE PROMPTLY REMOVED FROM THE SITE.
4. ELECTRICAL CONTRACTOR SHALL REFER TO THE DRAWINGS TO DETERMINE THE EXTENT OF REMODELED AREAS. ALL NEW CONDUITS SHALL BE RUN CONCEALED IN AREAS WHERE CEILING ARE INSTALLED. ALL AREAS WHERE SURFACE RACEWAY IS USED MUST BE APPROVED BY THE ARCHITECT AND OWNER. ALL NEW WALL INSTALLATIONS SHALL HAVE CONCEALED CONDUIT.
5. WHERE EXISTING EQUIPMENT AND WIRING IS REMOVED AND SUCH REMOVAL RESULTS IN A BOX OR FITTING THAT IS NO LONGER NEEDED, SUCH BOX OR FITTING SHALL BE DISCONNECTED AND REMOVED AND ALL CONDUITS AND WIRING FROM THIS BOX OR FITTING BACK TO THE PRECEDING BOX OR FITTING SHALL BE REMOVED. PROVIDE CAPS AND PLUGS FOR ALL UNUSED OPENINGS IN THE BOX OR FITTING THAT REMAINS. WHEN AN OUTLET IS BEING REMOVED IN THE MIDDLE OF A RUN THE CONTRACTOR SHALL "THROGE" THE CIRCUIT.
6. WHERE NEW ELECTRICAL OR WIRING IS INDICATED OR REQUIRED, THE CONTRACTOR SHALL FURNISH AND INSTALL NEW, CONDUCTORS AND WIRING. NO EXISTING CONDUITS, RACEWAYS, CONDUCTORS, WIRING OR EQUIPMENT SHALL BE REUSED, EXCEPT WHERE OTHERWISE NOTED ON PLANS OR AS APPROVED BY THE ARCHITECT.

PLUMBING DEMOLITION NOTES

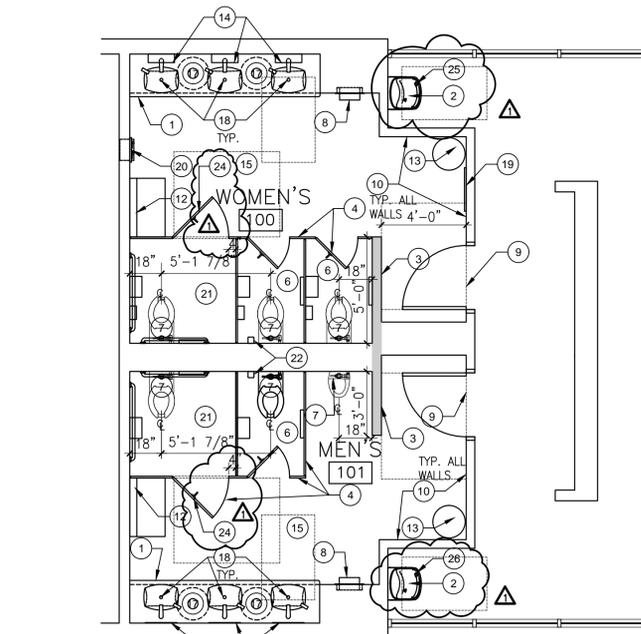
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2. PLUMBING CONTRACTOR SHALL REMOVE ALL PLUMBING LINES BACK TO THEIR BEGINNING OR END POINTS AND CAP THEM IN AREAS TO BE DEMOLISHED, UNLESS SPECIFICALLY NOTED OTHERWISE.

MECHANICAL DEMOLITION NOTES:

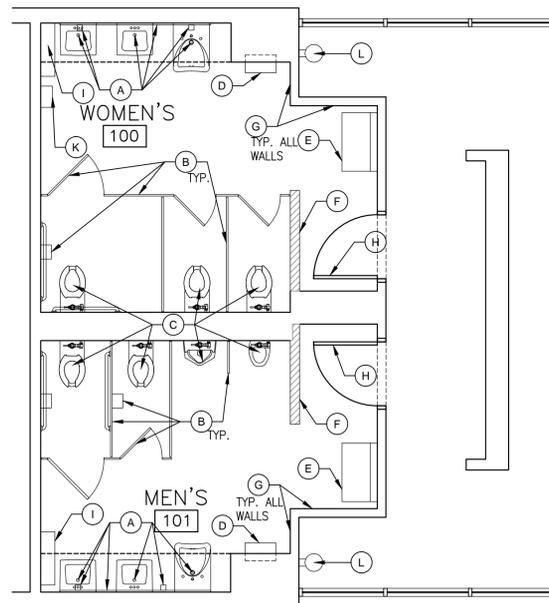
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3. MECHANICAL CONTRACTOR SHALL REMOVE ALL MECHANICAL DUCTS BACK TO THEIR BEGINNING OR END POINTS AND CAP THEM IN AREAS TO BE DEMOLISHED, UNLESS SPECIFICALLY NOTED OTHERWISE.
4. MECHANICAL CONTRACTOR SHALL REMOVE ALL MECHANICAL EQUIPMENT ON ROOF OR IN WALLS AND IN CEILING AND THE OPENINGS MUST BE REPLACED WITH EQUAL WALL, ROOFING, OR CEILING MATERIALS PER NEW PLAN FINISHES.
5. ALL CHANGES IN MECHANICAL DUCTWORK MUST HAVE A BALANCE OF AIR WHEN REMODEL IS FINISHED TO INSURE PROPER WORKING ORDER OF AIR SYSTEM.

GENERAL CONSTRUCTION NOTES

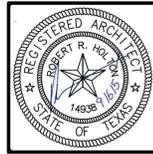
1. DO NOT SCALE THE DRAWINGS. CONTACT THE ARCHITECT TO VERIFY OR CONFIRM UNKNOWN DIMENSIONS.
2. GENERAL CONTRACTOR SHALL VERIFY WITH DIMENSIONS IN PLANS BEFORE COMMENCING ANY WORK. CONTRACTOR TO INFORM ARCHITECT OF ANY DISCREPANCIES.
3. ALL OTHER WORK REQUIRED BUT NOT SPECIFIED IN THESE DOCUMENTS, SHALL BE PERFORMED BY CONTRACTORS TO MEET THE GENERAL PRACTICING STANDARDS, BUILDING CODES AND MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.
4. CONTRACTOR SHALL OBTAIN ALL PERMITS AND INSPECTIONS AND COMPLY WITH ALL CODES, LAWS, ORDINANCES, RULES AND REGULATIONS OF ALL PUBLIC AUTHORITIES (FEDERAL, STATE, OR LOCAL) GOVERNING THE WORK. THE MOST STRINGENT SHALL APPLY.
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6. ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, CLEANED, AND CONDITIONED PER MANUFACTURER'S INSTRUCTIONS. IN CASE OF DIFFERENCES BETWEEN THE MANUFACTURER'S INSTRUCTION AND THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE PROCEEDING.
7. ENSURE SURFACES TO RECEIVE FINISHES ARE CLEAN, TRUE AND FREE OF IRREGULARITIES.
8. ALL NEW WALLS TO BE WITH SOUND INSULATION UNLESS OTHERWISE NOTED.
9. ALL INTERIOR DIMENSIONS ARE FROM FINISHED FACE TO FINISHED FACE OF GYP BOARD UNLESS OTHERWISE NOTED.
10. PROVIDE 5/8" FRP PLYWOOD BACKING WHERE THERE IS WALL MOUNTED SHELVING OR EQUIPMENT AND/OR FIXTURES.
11. GC SHALL MAINTAIN PROPER EGRESS ASLE AT ALL TIMES DURING CONSTRUCTION.
12. ALL MILLWORK SHELVING & CABINETS ARE CUSTOM CABINETRY PER TENANT'S SPECIFICATIONS.
13. CONFIRM ALL FIXTURES & EQUIPMENT WITH MANUFACTURE CUT-SHEET FOR INSTALLATION PER MANUFACTURER'S REQUIREMENT.
14. REFER TO SHEET A102 FOR DOOR & FIXTURE SCHEDULES.
15. ALL NEW PARTITIONS TO BE 3-5/8" MTL. STUD W/ 1" TYPE-X GYP. BD. AND 1" CEMENTITIOUS FIBERBOARD WITH TILE (RE: A201, INTR. ELEV.) AT ALL EXPOSED SURFACES, I.N.O.
16. ALL FLOOR DRAINS TO REMAIN AT CURRENT LOCATION AND ELEVATION. GC TO CHP OUT EXISTING TILE AND SLOPE NEW FLOORING TO DRAINS WHILE MAINTAINING EXISTING SLOPE.



3 PROPOSED LOBBY PLAN
Scale: 1/4" = 1'-0"



2 EXISTING/DEMO LOBBY PLAN
Scale: 1/4" = 1'-0"



ISSUE DATES	
DATE	ISSUE NAME
07/09/15	OWNER'S REVIEW
08/11/15	BID SET
09/16/15	ADDENDUM #1

HOUSTON
14400 West Loop, Suite 800
Houston, Texas 77040
713.869.1103 V

DALLAS
8717 Legacy Drive, Suite 240
Dallas, Texas 75247
817.480.2252 V

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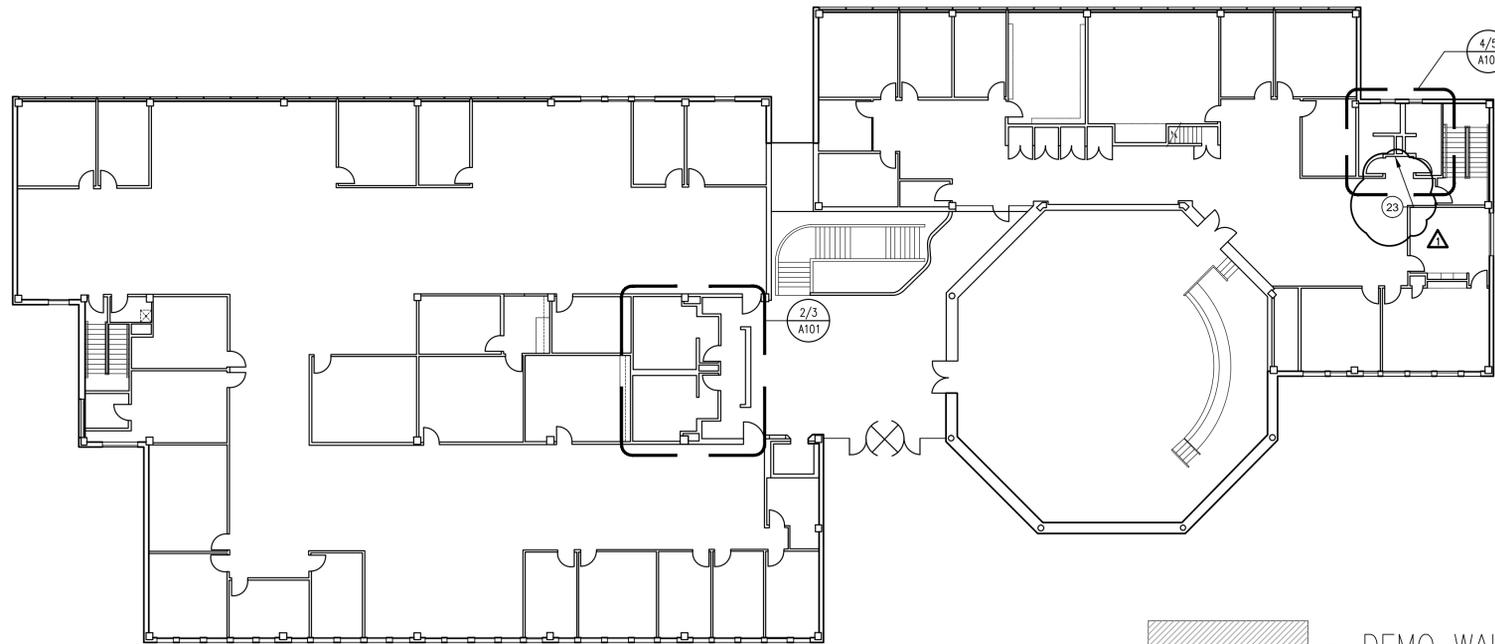
TENANT FINISH OUT FOR
CITY OF CARROLLTON CITY HALL
1945 E. JACKSON ROAD
CARROLLTON, TEXAS 75006

PROJECT NO. 14065
DATE: 09/16/15
CHECKED BY: ND DRAWN BY: TL
FILE NAME:

SHEET TITLE
FIRST FLOOR PLANS

SHEET NUMBER
A101B

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1 KEY PLAN - 2ND FLOOR
NTS



PROPOSED KEY NOTES: #

1. NEW SINK COUNTER. RE: 9&10/G010, A201/MATERIAL SCHEDULE
2. NEW WATER FOUNTAIN. RE: A201/TOILET ACCESSORIES SCHEDULE
3. NEW FULL HEIGHT WALL - 3/4" GYP. OVER 3-5/8" METAL STUDS.
4. NEW TOILET/URINAL PARTITIONS & STALL DOORS. RE: A201/TOILET ACCESSORIES SCHEDULE
5. NOT USED.
6. STANDARD STALLS TO INCLUDE NEW 2-ROLL TOILET PAPER DISPENSER, SEAT COVER DISPENSER, CLOTHES HOOK & NAPKIN DISPOSAL (WOMEN ONLY). RE: A201/TOILET ACCESSORIES SCHEDULE
7. RE-INSTALL EXISTING TOILET/URINAL. VERIFY/MODIFY LOCATION OF TOILET IN ACCESSIBLE STALL PER TAS REQUIREMENTS.
8. NEW HAND DRYER W/ ADA ACCESS KIT. RE: A201/TOILET ACCESSORIES SCHEDULE
9. PROVIDE MARBLE SADDLE TRANSITION STRIP AT DOORWAY BETWEEN TWO FLOOR FINISHES. CONFIRM SOLUTION WITH OWNER. RE: 14/G010
10. INSTALL NEW SUBSTRATE ON ALL WALLS INSIDE RESTROOM AS FOLLOWS: 3/8" CEMENTITIOUS BACKER BOARD BEHIND TILE, 3/8" WATER-RESISTANT GYPBOARD ABOVE TILE. RE: SPECIFICATIONS, A201
11. NEW MIRROR. RE: A201/TOILET ACCESSORIES SCHEDULE
12. NEW BABY CHANGING STATION. RE: A201/TOILET ACCESSORIES SCHEDULE
13. NEW TRASH BIN. RE: A201/TOILET ACCESSORIES SCHEDULE
14. NEW STORAGE CABINET WITH MIRROR. RE: A201/TOILET ACCESSORIES SCHEDULE. RE: G010 FOR ACCESSIBILITIES HT REQUIREMENTS
15. NEW FLOORING. RE: A201
16. NEW DOOR STOP. RE: A201/TOILET ACCESSORIES SCHEDULE
17. TRASH CHUTE W/ TRASH BIN BELOW. RE: A201/TOILET ACCESSORIES SCHEDULE
18. NEW SINK, FAUCET & SOAP DISPENSER. RE: A201/TOILET ACCESSORIES SCHEDULE
19. NEW FULL LENGTH MIRROR. RE: A201/TOILET ACCESSORIES SCHEDULE
20. NEW SANITARY NAPKIN VENDOR. RE: A201/TOILET ACCESSORIES SCHEDULE
21. ACCESSIBLE STALLS TO INCLUDE NEW GRAB BARS, 2-ROLL TOILET PAPER DISPENSER, SEAT COVER DISPENSER & CLOTHES HOOK. RE: A201/TOILET ACCESSORIES SCHEDULE
22. TOUGH GUY PROGRAMMABLE AIRE FRESHENER DISPENSER: MODEL #22XC1A. MOUNT BASE OF DISPENSER @ 6'-0" AFF. PER MANUFACTURER'S RECOMMENDATIONS.

PARTITION NOTES

1. REFER TO ACCESSIBILITY SHEET G010 FOR ADDITIONAL INFORMATION.
2. DESIGN CRITERIA:
 - A. ALLOWABLE DEFLECTION = L/240 FOR LISTED LIMITING HEIGHTS
 - B. 25 GA. MTL STUDS AT 16" O.C.
 - C. 3/4" TYPE "X" GYPSUM BOARD
3. SOUND RATED PARTITIONS:
 - A. PROVIDE 3" THICK SOUND ATTENUATION BATTS OR BLANKETS (R-19) UNLESS NOTED OTHERWISE.
 - B. FILL ALL DECK VOIDS WITH SOUND ATTENUATION MATERIAL.
 - C. SEAL PARTITION PERIMETER AND ALL PENETRATIONS WITH ACOUSTICAL SEALANT.
4. DAMP LOCATIONS:
 - A. PROVIDE WATER RESISTIVE GYPSUM BOARD AT RESTROOM WALLS, CEMENTITIOUS BD. AT ALL TILED CONDITIONS.
5. BRACING:
 - A. PROVIDE RIGID BRACING FOR STEEL STUD PARTITIONS EXCEEDING THE LIMITING HEIGHT.
 - B. PROVIDE RIGID BRACING FOR STEEL STUD PARTITIONS THAT STOP ABOVE THE CEILING LINE.
 - C. REFER TO UL RATED PARTITION DESCRIPTIONS FOR DETAILED CONSTRUCTION NOTES.

EXISTING/DEMO KEY NOTES: #

- A. REMOVE & DISCARD EXISTING SINKS, MIRROR & SOAP DISPENSERS.
- B. REMOVE & DISCARD PARTITIONS, STALL DOORS & TOILET ACCESSORIES.
- C. REMOVE & SAVE EXISTING TOILET OR URINAL.
- D. REMOVE & DISCARD EXISTING PAPER TOWEL/TRASH DISPENSER.
- E. REMOVE & DISCARD EXISTING BABY CHANGING STATION.
- F. DEMO WALL AT SHADED LOCATIONS.
- G. DEMO & DISCARD EXISTING WALL TILES & SUBSTRATES.
- H. PREPARE DOOR AS REQUIRED FOR NEW STAIN.
- I. REMOVE & DISCARD EXISTING WALL MOUNTED SHELF.
- J. NOT USED.
- K. REMOVE & DISCARD EXISTING SANITARY NAPKIN VENDOR.
- L. REMOVE & DISCARD EXISTING WATER FOUNTAIN.
- M. REMOVE & DISCARD EXISTING MIRROR.

23. PROVIDE SIGN STATING "NEAREST ACCESSIBLE RESTROOM AND DRINKING FOUNTAIN LOCATED IN LOBBY". SIGN TO COMPLY WITH TAS SECTION 703.5 AND INCLUDE INTERNATIONAL SYMBOL FOR ACCESSIBILITY PER TAS 703.7.2.1.
24. ACCESSIBLE STALL DOOR TO BE SELF CLOSING WITH DOOR PULL ON BOTH SIDES.
25. DRINKING FOUNTAIN SPOT HEIGHT TO BE 36" MAX A.F.F.
26. DRINKING FOUNTAIN SPOT HEIGHT TO BE BETWEEN 36" + 43" A.F.F.

GENERAL DEMOLITION NOTES:

1. DEMOLITION CONTRACTOR SHALL GENERALLY DO ANY CUTTING FOR, AND REMOVE ALL ITEMS, WHETHER SPECIFICALLY INDICATED OR NOT, WHICH WOULD INTERFERE WITH OR BE INCONGRUOUS TO THE PROPOSED CONSTRUCTION OR NEW FINISHES.
2. DEMOLITION CONTRACTOR SHALL PROVIDE AND PLACE ALL SHORING OR STRUCTURAL UNDERPINNING REQUIRED TO SUPPORT EXISTING CONSTRUCTION DURING ALL PHASES OF CONSTRUCTION.
3. DEMOLITION CONTRACTOR SHALL PROVIDE ALL MATERIALS NECESSARY TO SUITABLY SCREEN DEMOLITION WORK FROM PUBLIC VIEW AND PROTECT THE PUBLIC'S SAFETY, AS WELL AS COMPLY WITH ALL LOCAL CODES AND ORDINANCES FOR REMOVAL OF MATERIAL.
4. ALL ITEMS AND FINISHES WHICH ARE TO REMAIN SHALL BE PROTECTED AGAINST DAMAGE DURING DEMOLITION. ANY DAMAGE WHICH OCCURS DURING DEMOLITION SHALL BE CORRECTED BY THE DEMOLITION CONTRACTOR AT THE CONTRACTOR'S EXPENSE, UNDER THE SUPERVISION OF THE GENERAL CONTRACTOR.
5. DEMOLITION CONTRACTOR SHALL PROVIDE ANY BARRICADES, SUPPORTS, RAILINGS, ETC. AS REQUIRED BY O.S.H.A., AS WELL AS TO PROVIDE SAFE WORKING CONDITIONS.
6. ANY ASBESTOS ENCOUNTERED DURING CONSTRUCTION SHALL BE REMOVED OR ENCAPSULATED BY A LICENSED ASBESTOS CONTRACTOR IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL CODES AND ORDINANCES.
7. ALL EXISTING MECHANICAL TO REMAIN SHALL BE SUSPENDED FROM THE STEEL STRUCTURE IN ITS EXISTING LOCATION OR RELOCATED AS REQUIRED BY REMODEL PLANS.
8. CONTRACTOR SHOULD USE EXTREME CARE AND CAUTION WHEN REMOVING REQUIRED STRUCTURE OR NON-STRUCTURAL ELEMENTS TO INSURE THAT STRUCTURAL MEMBERS ARE NOT DISTURBED DAMAGED OR ALTERED.
9. CONTRACTOR SHALL CONFORM WITH ALL LOCAL, STATE AND FEDERAL GUIDELINES CONCERNING SITE SAFETY, DUST ABATEMENT AND CONTROL, AND DISPOSAL.
10. PROTECT WALLS TO REMAIN DURING DEMOLITION AND CONSTRUCTION. REPAIR ANY DAMAGE TO "AS NEW" CONDITION.
11. COORDINATE ANY SLAB DEMO WORK FOR PROPOSED PLUMBING & ELECTRICAL TRENCHING W/ PLUMBING & ELECTRICAL SHEET(S).

ELECTRICAL DEMOLITION NOTES:

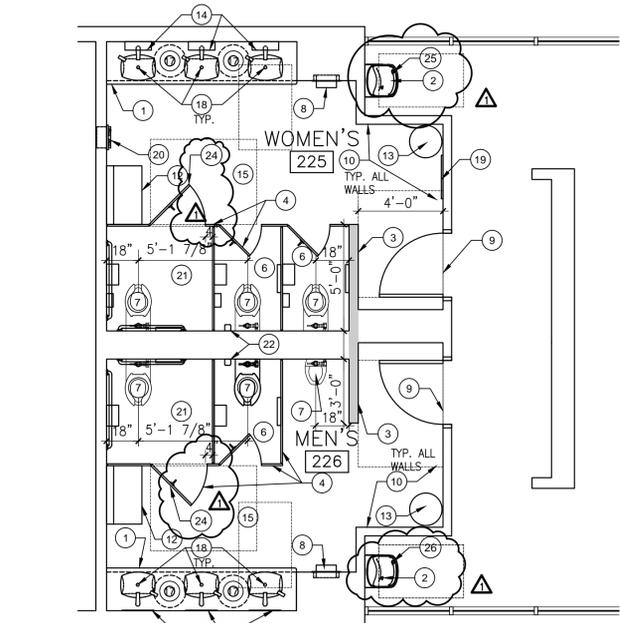
1. BEFORE SUBMITTING BID, THE ELECTRICAL CONTRACTOR IS INSTRUCTED TO VISIT THE SITE AND EXAMINE THE PREMISES TO FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS AND LOCATIONS OF ALL EQUIPMENT AND DEVICES. FAILURE TO DO SO SHALL NOT BE A CAUSE FOR ANY EXTRA COMPENSATION AFTER AWARD OF THE CONTRACT.
2. MAKE NECESSARY MODIFICATIONS AND ADJUSTMENTS TO ALL ELECTRICAL ITEMS AND EQUIPMENT, BOTH NEW AND EXISTING, AS MAY BE REQUIRED BY THE ALTERATIONS AND ADDITIONS.
3. DISCONNECT AT SOURCE AND REMOVE EXISTING ELECTRICAL MATERIALS AND EQUIPMENT INCLUDING, BUT NOT LIMITED TO LIGHT FIXTURES, WIRING DEVICES, CONDUIT WIRES, AND ALL OTHER ELECTRICAL ITEMS WHICH ARE RENDERED OBSOLETE BY THESE ALTERATIONS AND ADDITIONS. ALL EQUIPMENT WHICH THE OWNER DESIRES TO KEEP SHALL BE REMOVED TO LOCATIONS DESIGNATED. ALL OTHER EQUIPMENT SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE PROMPTLY REMOVED FROM THE SITE.
4. ELECTRICAL CONTRACTOR SHALL REFER TO THE DRAWINGS TO DETERMINE THE EXTENT OF REMODELED AREAS. ALL NEW CONDUITS SHALL BE RUN CONCEALED IN AREAS WHERE CEILING ARE INSTALLED. ALL AREAS WHERE SURFACE RACEWAY IS USED MUST BE APPROVED BY THE ARCHITECT AND OWNER. ALL NEW WALL INSTALLATIONS SHALL HAVE CONCEALED CONDUIT.
5. WHERE EXISTING EQUIPMENT AND WIRING IS REMOVED AND SUCH REMOVAL RESULTS IN A BOX OR FITTING THAT IS NO LONGER NEEDED, SUCH BOX OR FITTING SHALL BE DISCONNECTED AND REMOVED AND ALL CONDUITS AND WIRING FROM THIS BOX OR FITTING BACK TO THE PRECEDING BOX OR FITTING SHALL BE REMOVED. PROVIDE CAPS AND PLUGS FOR ALL UNUSED OPENINGS IN THE BOX OR FITTING THAT REMAINS. WHEN AN OUTLET IS BEING REMOVED IN THE MIDDLE OF A RUN THE CONTRACTOR SHALL "THROU" THE CIRCUIT.
6. WHERE NEW ELECTRICAL OR WIRING IS INDICATED OR REQUIRED, THE CONTRACTOR SHALL FURNISH AND INSTALL NEW CONDUCTORS AND WIRING. NO EXISTING CONDUITS, RACEWAYS, CONDUCTORS, WIRING OR EQUIPMENT SHALL BE REUSED, EXCEPT WHERE OTHERWISE NOTED ON PLANS OR AS APPROVED BY THE ARCHITECT.

PLUMBING DEMOLITION NOTES

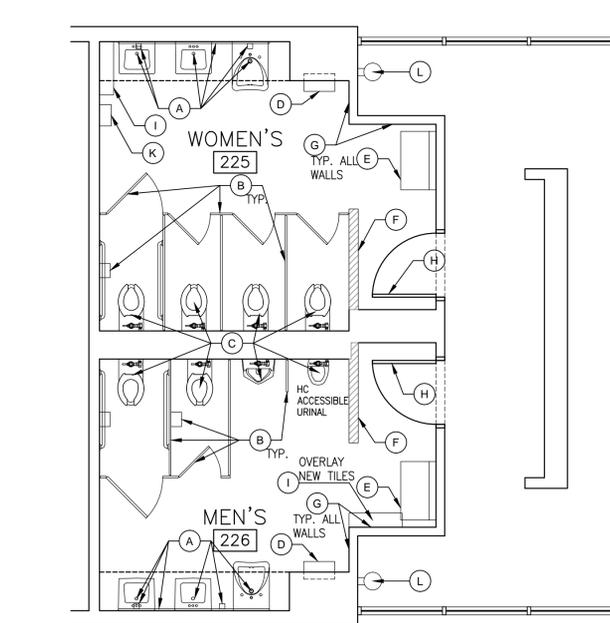
1. BEFORE SUBMITTING BID, THE PLUMBING CONTRACTOR IS INSTRUCTED TO VISIT THE SITE AND EXAMINE THE PREMISES TO FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS AND LOCATIONS OF ALL EQUIPMENT AND DEVICES. FAILURE TO DO SO SHALL NOT BE A CAUSE FOR ANY EXTRA COMPENSATION AFTER AWARD OF THE CONTRACT.
2. PLUMBING CONTRACTOR SHALL REMOVE ALL PLUMBING LINES BACK TO THEIR BEGINNING OR END POINTS AND CAP THEM IN AREAS TO BE DEMOLISHED, UNLESS SPECIFICALLY NOTED OTHERWISE.
3. MECHANICAL CONTRACTOR SHALL REMOVE ALL PLUMBING LINES BACK TO THEIR BEGINNING OR END POINTS AND CAP THEM IN AREAS TO BE DEMOLISHED, UNLESS SPECIFICALLY NOTED OTHERWISE.
4. MECHANICAL CONTRACTOR SHALL REMOVE ALL MECHANICAL DUCTS BACK TO THEIR BEGINNING OR END POINTS AND CAP THEM IN AREAS TO BE DEMOLISHED, UNLESS SPECIFICALLY NOTED OTHERWISE.
5. ALL CHANGES IN MECHANICAL DUCTWORK MUST HAVE A BALANCE OF AIR WHEN REMODEL IS FINISHED TO INSURE PROPER WORKING ORDER OF AIR SYSTEM.

GENERAL CONSTRUCTION NOTES

1. DO NOT SCALE THE DRAWINGS. CONTACT THE ARCHITECT TO VERIFY OR CONFIRM UNKNOWN DIMENSIONS.
2. GENERAL CONTRACTOR SHALL VERIFY WITH DIMENSIONS IN PLANS BEFORE COMMENCING ANY WORK. CONTRACTOR TO INFORM ARCHITECT OF ANY DISCREPANCIES.
3. ALL OTHER WORK REQUIRED BUT NOT SPECIFIED IN THESE DOCUMENTS, SHALL BE PERFORMED BY CONTRACTORS TO MEET THE GENERAL PRACTICING STANDARDS, BUILDING CODES AND MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.
4. CONTRACTOR SHALL OBTAIN ALL PERMITS AND INSPECTIONS AND COMPLY WITH ALL CODES, LAWS, ORDINANCES, RULES AND REGULATIONS OF ALL PUBLIC AUTHORITIES (FEDERAL STATE, OR LOCAL) GOVERNING THE WORK. THE MOST STRINGENT SHALL APPLY.
5. CONTRACTOR IS RESPONSIBLE FOR HAVING THOROUGH KNOWLEDGE OF THE LANDLORD'S CRITERIA, CONSTRUCTION RULES AND REGULATIONS PRIOR TO COMMENCING CONSTRUCTION. FAILURE TO OBTAIN COPIES OF SAID RULES AND REGULATIONS DO NOT RELIEVE THE GC OR SUBCONTRACTORS OF ANY RESPONSIBILITIES WITHIN THOSE DOCUMENTS.
6. ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, DIRECTED, CLEANED, AND CONDITIONED PER MANUFACTURER'S INSTRUCTIONS. IN CASE OF DIFFERENCES BETWEEN THE MANUFACTURER'S INSTRUCTION AND THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE PROCEEDING.
7. ENSURE SURFACES TO RECEIVE FINISHES ARE CLEAN, TRUE AND FREE OF IRREGULARITIES.
8. ALL NEW WALLS TO BE WITH SOUND INSULATION UNLESS OTHERWISE NOTED.
9. ALL INTERIOR DIMENSIONS ARE FROM FINISHED FACE TO FINISHED FACE OF GYP BOARD UNLESS OTHERWISE NOTED.
10. PROVIDE 5/8" FRT PLYWOOD BACKING WHERE THERE IS WALL MOUNTED SHELVING OR EQUIPMENT AND OR FIXTURES.
11. GC SHALL MAINTAIN PROPER EGRESS AISLE AT ALL TIMES DURING CONSTRUCTION.
12. ALL MILLWORK SHELVING & CABINETS ARE CUSTOM CABINERY PER TENANT'S SPECIFICATIONS.
13. CONFIRM ALL FIXTURES & EQUIPMENT WITH MANUFACTURE CUT-SHEET FOR INSTALLATION PER MANUFACTURER'S REQUIREMENT.
14. REFER TO SHEET A102 FOR DOOR & FIXTURE SCHEDULES.
15. ALL NEW PARTITIONS TO BE 3-5/8" MTL. STUD W/ 1/2" TYPE-X GYP. BD. AND 3/8" CEMENTITIOUS FIBERBOARD WITH TILE (RE: A201, WITH ELEV.) AT ALL EXPOSED SURFACES, U.N.O.
16. ALL FLOOR DRAINS TO REMAIN AT CURRENT LOCATION AND ELEVATION. GC TO CHIP OUT EXISTING TILE AND SLOPE NEW FLOORING TO DRAINS WHILE MAINTAINING EXISTING SLOPE.

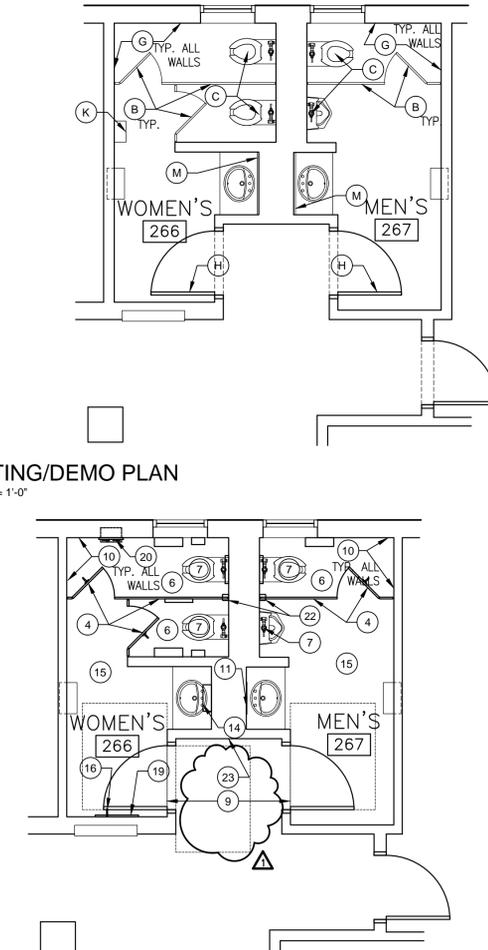


3 PROPOSED LOBBY PLAN
Scale: 1/4" = 1'-0"

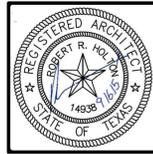


2 EXISTING/DEMO LOBBY PLAN
Scale: 1/4" = 1'-0"

4 EXISTING/DEMO PLAN
Scale: 1/4" = 1'-0"



5 PROPOSED PLAN
Scale: 1/4" = 1'-0"



ISSUE DATES	
DATE	ISSUE NAME
07/09/15	OWNER'S REVIEW
08/11/15	BID SET
09/16/15	ADDENDUM #1



HOUSTON
Houston, Texas Suite 800
Houston, Texas 77002
713.869.1103 V

DALLAS
1717 Legacy Drive, Suite 240
Dallas, Texas 75201
817.480.7252 V

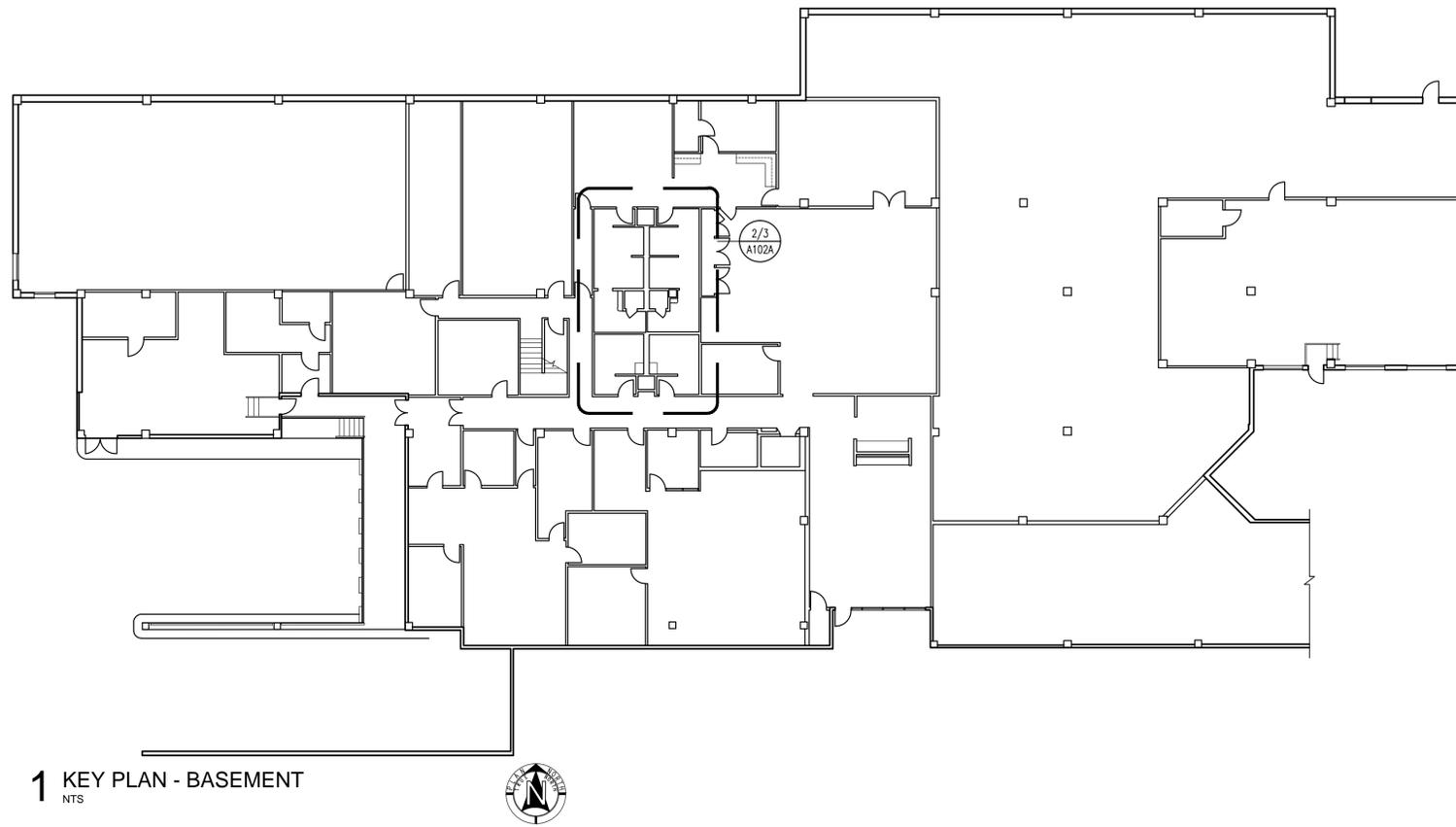
HEIGHTS VENTURE ARCHITECTS, L.L.P.

TENANT FINISH OUT FOR
CITY OF CARROLLTON CITY HALL
1945 E. JACKSON ROAD
CARROLLTON, TEXAS 75006

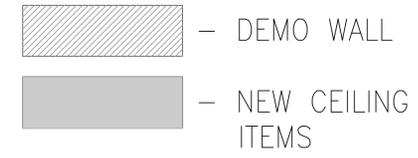
PROJECT NO.	14065
DATE:	09/16/15
CHECKED BY:	ND
DRAWN BY:	TL
FILE NAME:	

SHEET TITLE
SECOND FLOOR PLANS

SHEET NUMBER
A101C



1 KEY PLAN - BASEMENT
NTS

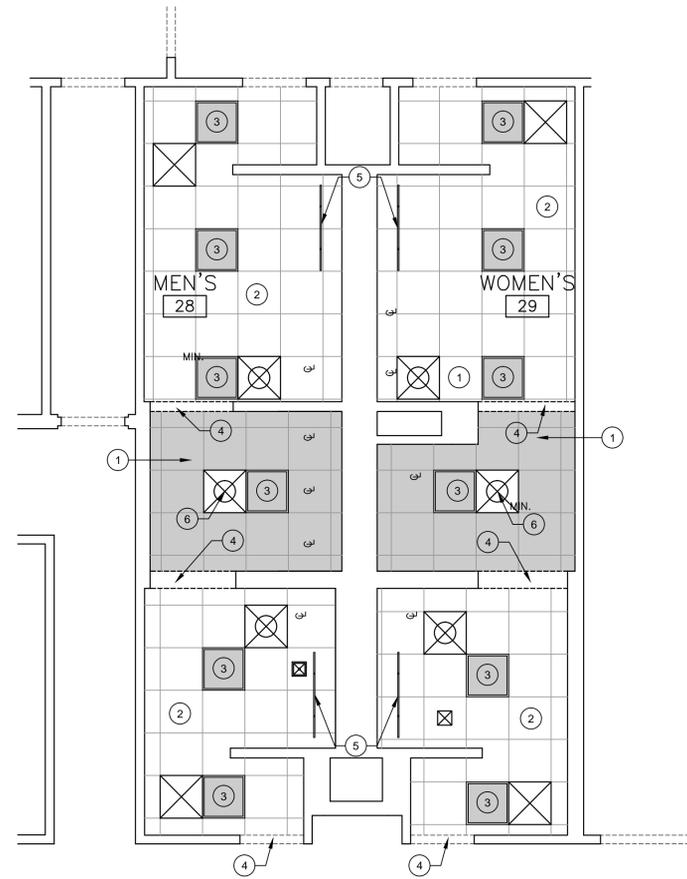


EXISTING/ DEMO KEY NOTES: #

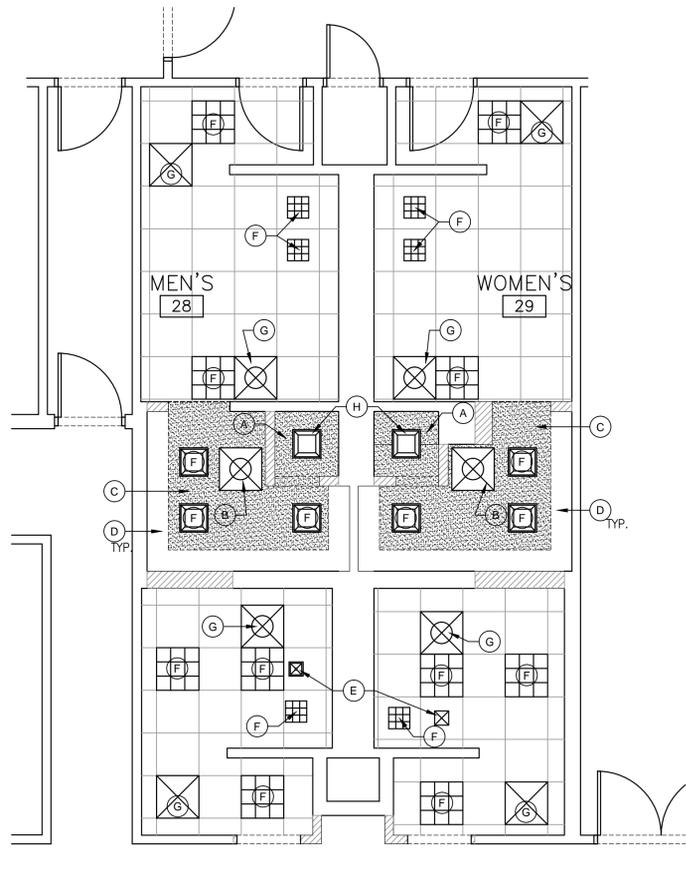
- A. DEMO EXISTING SHOWER CEILING.
- B. SUPPLY AIR DIFFUSER TO BE RELOCATED. CLEAN AS NECESSARY.
- C. DEMO EXISTING GYP. CEILING.
- D. DEMO EXISTING FURRDOWN.
- E. EXISTING EXHAUST FAN TO REMAIN. CLEAN AS NECESSARY.
- F. REMOVE & DISCARD EXISTING LIGHTS.
- G. EXISTING SUPPLY DIFFUSER OR RETURN AIR GRILL TO REMAIN. CLEAN AS NECESSARY.
- H. REMOVE & DISCARD EXISTING AIR DIFFUSER AND ASSOCIATED DUCTWORK ABOVE CEILING. SEAL DUCTWORK AT TERMINATION OF REMOVAL AS NECESSARY.

PROPOSED KEY NOTES: #

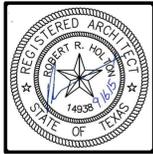
- 1. NEW CEILING TILE & GRID TO MATCH EXISTING.
- 2. EXISTING CEILING TILE AND GRID TO REMAIN.
- 3. NEW 2X2 LED LIGHT FIXTURES. RE: E101
- 4. NEW FURRDOWN @ 8'-0" AFF.
- 5. NEW SUSPENDED LIGHT FIXTURE. INSTALL 12" AWAY FROM WALL. INSTALL AT 7'-0" A.F.F. CENTER LEFT/RIGHT OVER NEW SINK COUNTER. RE: E101
- 6. RELOCATED AIR DIFFUSER.



3 PROPOSED RCP
Scale: 1/4" = 1'-0"



2 EXISTING/DEMO RCP
Scale: 1/4" = 1'-0"



ISSUE DATES			
DATE	ISSUE NAME	OWNER'S REVIEW	BID SET ADDENDUM #1
07/09/15			
08/11/15			
09/16/15			



HOUSTON: 1400 West, Suite 800
Houston, Texas 77058
713.889.1103 V

DALLAS: 1400 West, Suite 240
Dallas, Texas 75204
972.480.7292 V

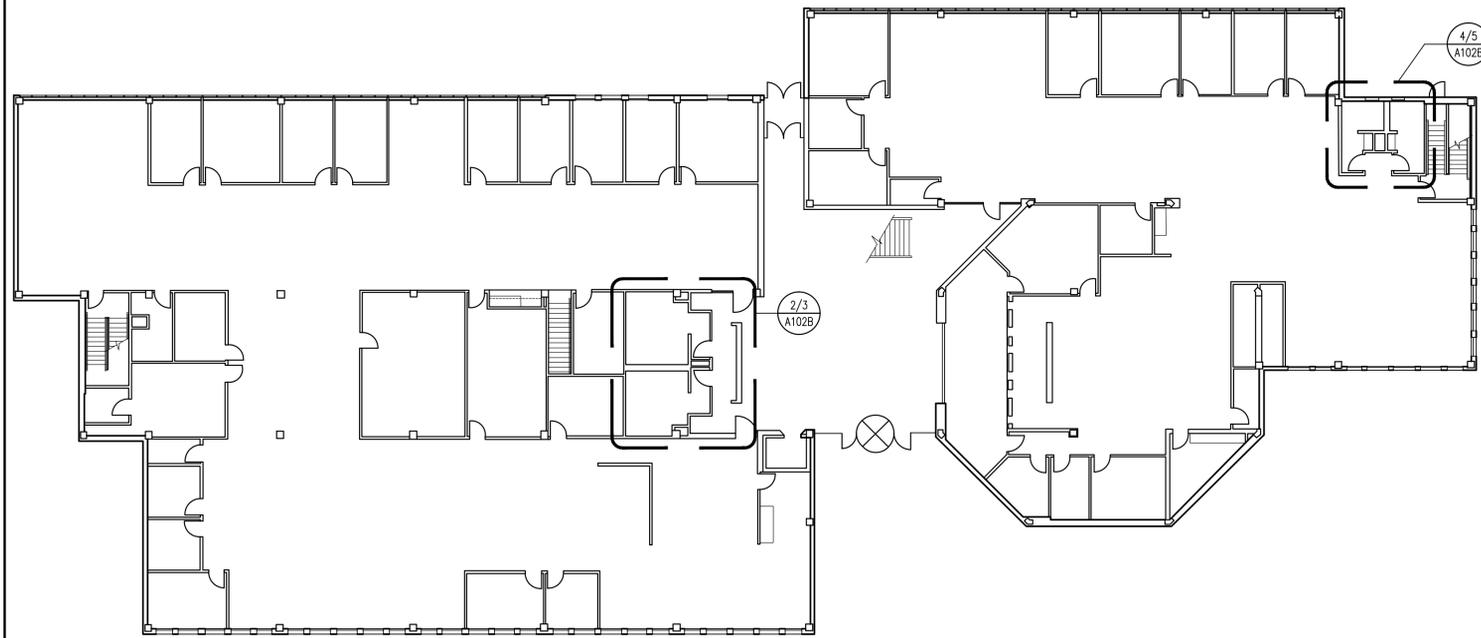
HEIGHTS VENTURE ARCHITECTS, L.P.

TENANT FINISH OUT FOR
CITY OF CARROLLTON CITY HALL
1945 E. JACKSON ROAD
CARROLLTON, TEXAS 75006

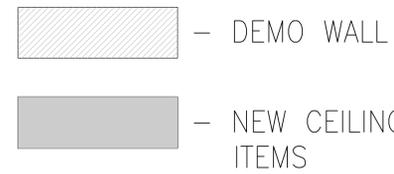
PROJECT NO. 14065
DATE: 09/16/15
CHECKED BY: ND DRAWN BY: TL
FILE NAME:

SHEET TITLE
BASEMENT RCP PLANS

SHEET NUMBER
A102A



1 KEY PLAN - 1ST FLOOR
NTS

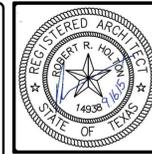


EXISTING/ DEMO KEY NOTES: #

- A. EXISTING SUPPLY DIFFUSER OR RETURN AIR GRILL TO REMAIN. CLEAN AS NECESSARY.
- B. EXISTING EXHAUST FAN TO REMAIN. CLEAN AS NECESSARY.
- C. REMOVE & DISCARD EXISTING LIGHTS.

PROPOSED KEY NOTES: #

- 1. PATCH EXISTING GYP. BOARD CEILING WHERE LIGHTS ARE REMOVED.
- 2. EXISTING CEILING TILE AND GRID TO REMAIN.
- 3. NEW 2X2 LED LIGHT FIXTURES. RE: E101
- 4. NEW WALL MOUNT LIGHT FIXTURE. RE: E101 MOUNT DIRECTLY ABOVE MIRROR.
- 5. NEW SUSPENDED LIGHT FIXTURE. INSTALL 12" AWAY FROM WALL. INSTALL AT 7'-0" A.F.F. CENTER LEFT/RIGHT OVER NEW SINK COUNTER. RE: E101



ISSUE DATES

DATE	ISSUE NAME	OWNER'S REVIEW	BID SET	ADDENDUM #
07/09/15				
08/11/15				
09/16/15				



HOUSTON
1111 North Loop West, Suite 800
Houston, Texas 77008
713 688 1103 V

DALLAS
2777 Legacy Drive, Suite 240
Plano, Texas 75024
872 489 7252 V

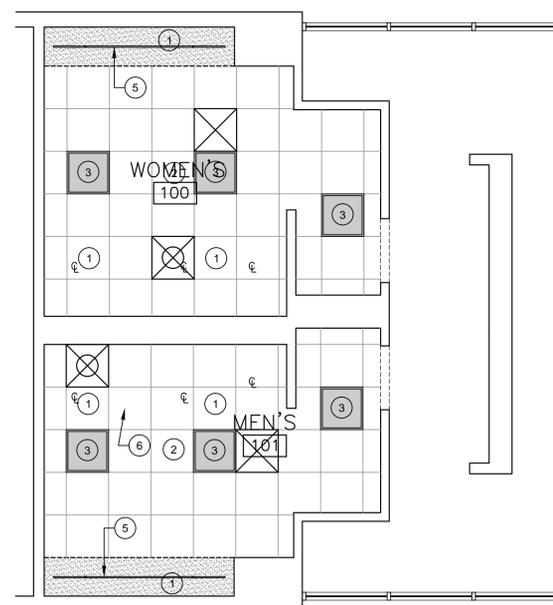


TENANT FINISH OUT FOR
CITY OF CARROLLTON CITY HALL
1945 E. JACKSON ROAD
CARROLLTON, TEXAS 75006

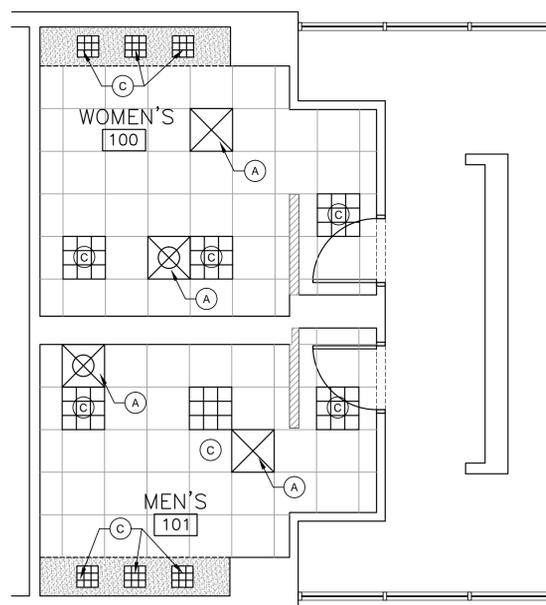
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SHEET TITLE
FIRST FLOOR RCP PLANS

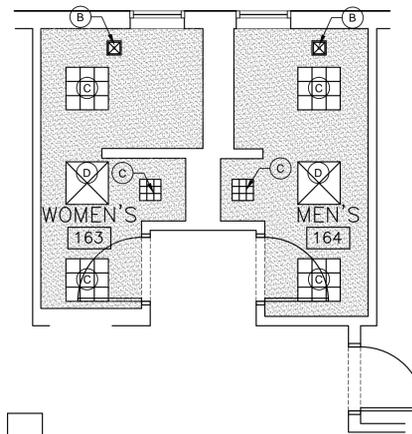
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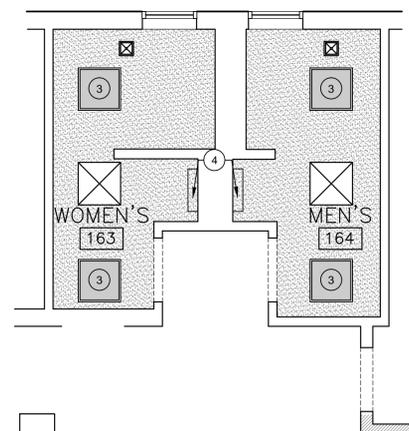
3 PROPOSED LOBBY RCP
Scale: 1/4" = 1'-0"



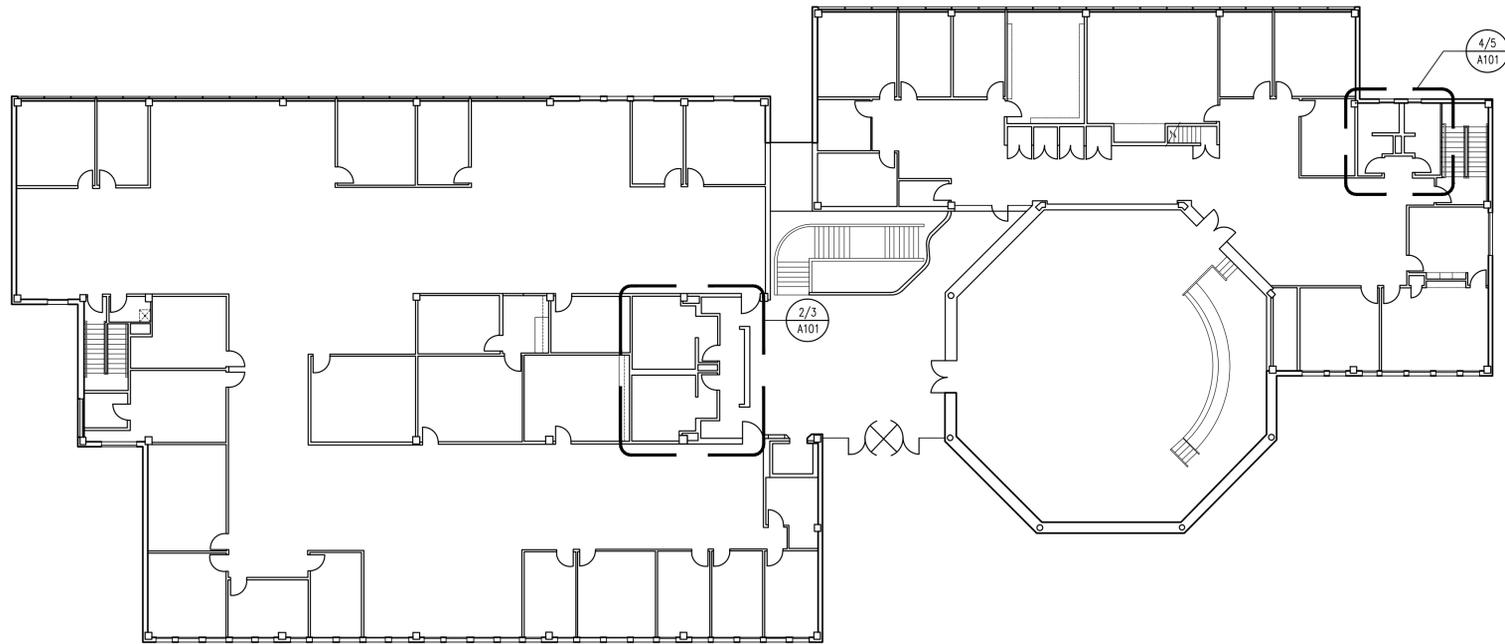
2 EXISTING/DEMO LOBBY RCP
Scale: 1/4" = 1'-0"



4 EXISTING/DEMO RCP
Scale: 1/4" = 1'-0"



5 PROPOSED RCP
Scale: 1/4" = 1'-0"



1 KEY PLAN - 2ND FLOOR
NTS



- DEMO WALL
- NEW CEILING ITEMS

EXISTING/ DEMO KEY NOTES: #

- A. EXISTING SUPPLY DIFFUSER OR RETURN AIR GRILL TO REMAIN. CLEAN AS NECESSARY.
- B. EXISTING EXHAUST FAN TO REMAIN. CLEAN AS NECESSARY.
- C. REMOVE & DISCARD EXISTING LIGHTS.

PROPOSED KEY NOTES: #

- 1. PATCH EXISTING GYP. BOARD CEILING WHERE LIGHTS ARE REMOVED.
- 2. EXISTING CEILING TILE AND GRID TO REMAIN.
- 3. NEW 2X2 LED LIGHT FIXTURES. RE: E101
- 4. NEW WALL MOUNT LIGHT FIXTURE. RE: E101 MOUNT DIRECTLY ABOVE MIRROR.
- 5. NEW SUSPENDED LIGHT FIXTURE. INSTALL 12" AWAY FROM WALL. INSTALL AT 7'-0" A.F.F. CENTER LEFT/RIGHT OVER NEW SINK COUNTER. RE: E101



ISSUE DATES

DATE	ISSUE NAME	OWNER'S REVIEW	BID SET	ADDENDUM #1
07/09/15				
08/11/15				
09/16/15				

HOUSTON
10000 Katy Freeway, Suite 800
Houston, Texas 77025
713.869.1103 V

DALLAS
2717 Legacy Drive, Suite 240
Dallas, Texas 75244
817.460.7252 V

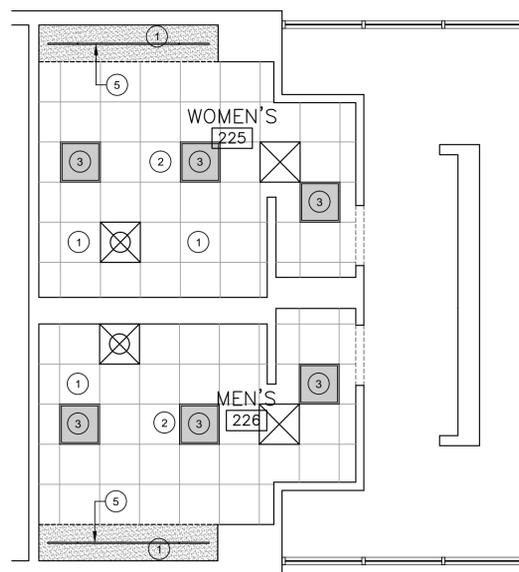


TENANT FINISH OUT FOR
CITY OF CARROLLTON CITY HALL
1945 E. JACKSON ROAD
CARROLLTON, TEXAS 75006

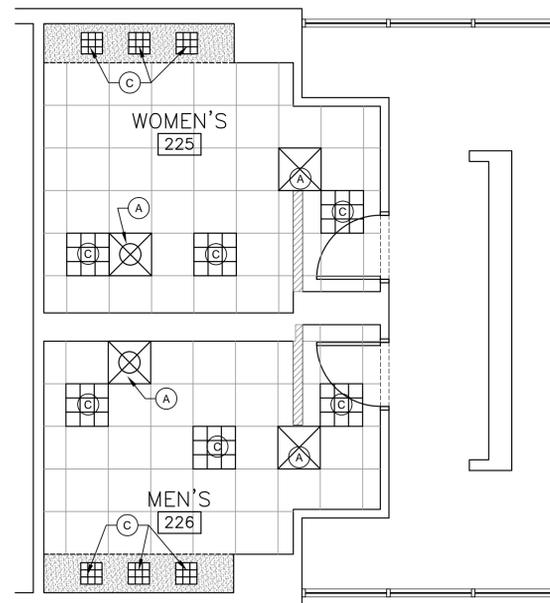
PROJECT NO. 14065
DATE: 09/16/15
CHECKED BY: ND DRAWN BY: TL
FILE NAME:

SHEET TITLE
SECOND FLOOR RCP PLANS

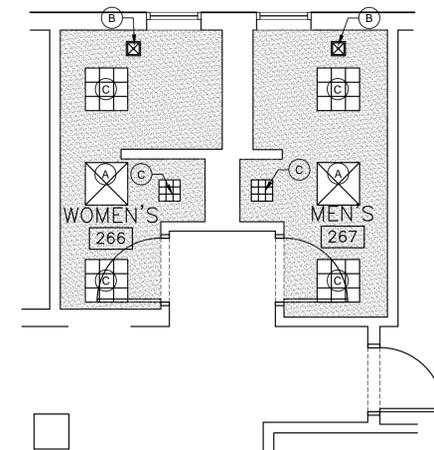
SHEET NUMBER
A102C



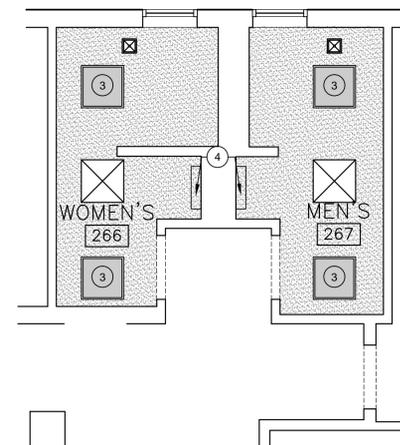
3 PROPOSED LOBBY RCP
Scale: 1/4" = 1'-0"



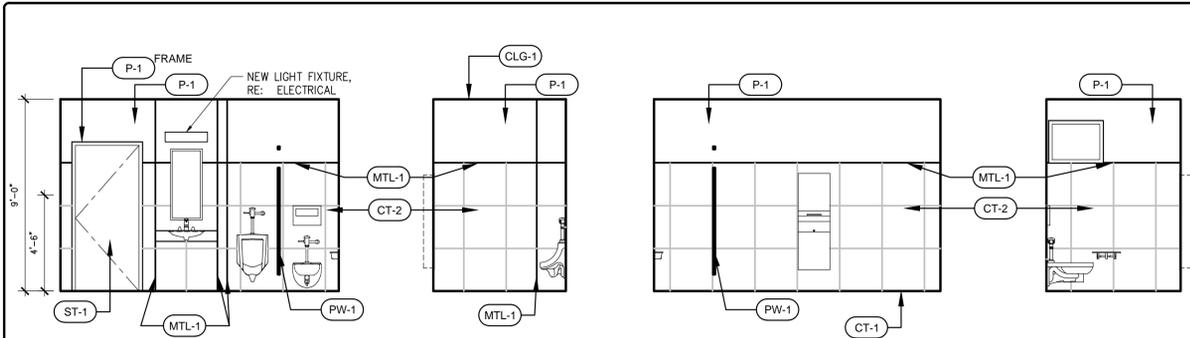
2 EXISTING/DEMO LOBBY RCP
Scale: 1/4" = 1'-0"



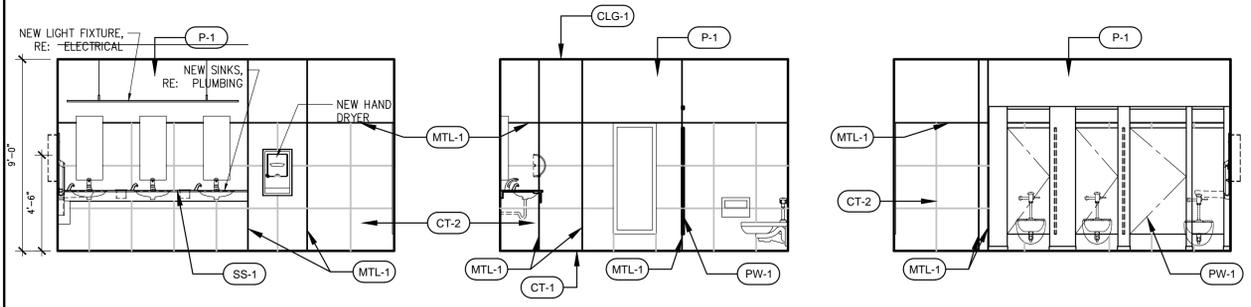
4 EXISTING/DEMO RCP
Scale: 1/4" = 1'-0"



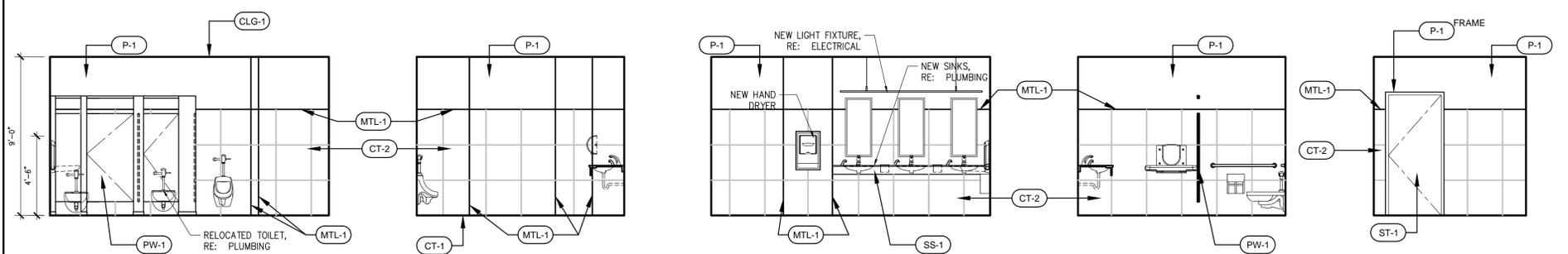
5 PROPOSED RCP
Scale: 1/4" = 1'-0"



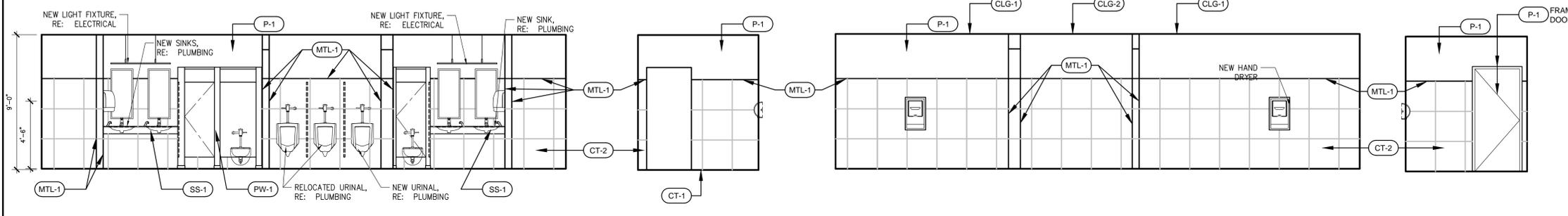
5 PROPOSED 1ST & 2ND MEN'S OFFICE RESTROOM ELEVATIONS
Scale: 1/4" = 1'-0"



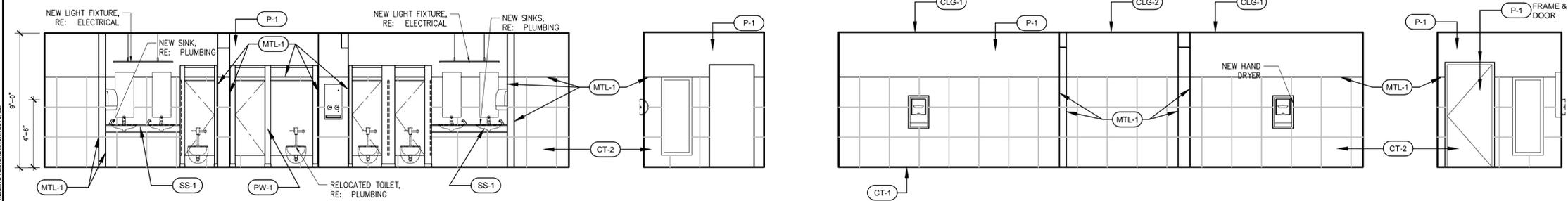
4 PROPOSED 1ST & 2ND WOMEN'S LOBBY RESTROOM ELEVATIONS
Scale: 1/4" = 1'-0"



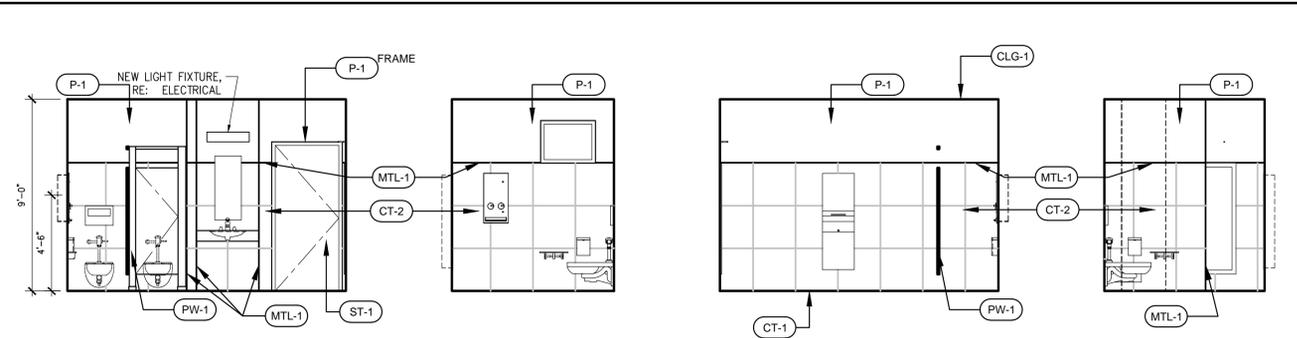
3 PROPOSED 1ST & 2ND MEN'S LOBBY RESTROOM ELEVATIONS
Scale: 1/4" = 1'-0"



2 PROPOSED MEN'S BASEMENT RESTROOM ELEVATIONS
Scale: 1/4" = 1'-0"



1 PROPOSED WOMEN'S BASEMENT RESTROOM ELEVATIONS
Scale: 1/4" = 1'-0"



6 PROPOSED 1ST & 2ND WOMEN'S OFFICE RESTROOM ELEVATIONS
Scale: 1/4" = 1'-0"

TOILET ACCESSORIES SCHEDULE

QUANTITY	ITEM	MANUFACTURER	MODEL#	REMARKS
12	(2) TOILET ROLL DISPENSER	BOBRICK	B-2840	
6	GRAB BAR	BOBRICK	B-6806-36"	
6	GRAB BAR	BOBRICK	B-6806-42"	
8	HAND DRYER W/ ADA RECESS KIT	EXCEL DRYER	XLERATOR-XL-SB-40502	
14	SURFACE MOUNTED SANITARY NAPKIN DISPOSAL	BOBRICK	B-270	
22	CLOTHES HOOK	BOBRICK	B-211	
22	SURFACE MOUNTED SEAT-COVER DISPENSER	BOBRICK	B-221	
4	AUTOMATIC SURFACE MOUNTED ROLL TOWEL DISPENSER	BOBRICK	B-72974	
6	FULL LENGTH MIRROR	EURO STYLE LIGHTING	EZEL-EUR1113	
12	MEDICINE CABINET	KOHLER	K-2913	
12	FRAMELESS WALL MIRROR	EURO STYLE LIGHTING	EURO-EUP1403	
20	UNDER-MOUNT BATHROOM SINK	KOHLER	K-2382	
20	SENSOR, DECK MOUNT FOAM SOAP DISPENSER	SLOAN	SJS-1750	
20	ELECTRONIC HAND WASHING FAUCET	SLOAN	EAF-100	
2	DOOR STOP	DOORWARE	DEL-805450	TO BE MOUNTED ABOVE MIRROR
5	RECESSED NAPKIN VENDOR	BOBRICK	B-37063	
4	WALL MOUNTED BABY CHANGING STATION	KOALA KARE	KB200-01SS	
8	COUNTERTOP-MOUNTED CIRCULAR WASTE CHUTE	BOBRICK	B-529	
16	FLOOR STANDING WASTE RECEPTACLE	BOBRICK	B-2400	
4	ADA WATER COOLER	ELKAY	EZ585	
1	BOTTLE FILLING STATION W/ WATER COOLER	ELKAY	EZ2TLR8WS	
10	CORLESS TISSUE DISPENSER	GEORGIA PACIFIC	56744	LOBBY RESTROOMS ONLY
22	PARTITION-PRIVACY DOOR COVERS	PARTITIONS & STALLS	9A1010	
4	UNDER-MOUNT SMALL BATHROOM SINK	KOHLER	K-2209	1ST & 2ND FLOOR SMALL RESTROOMS ONLY

NOTES:
1. REFER ACCESSIBILITY SHEET G010 FOR RESTROOM ACCESSORIES INSTALLATION HEIGHTS.

ROOM FINISH SCHEDULE

ROOM NO.	ROOM NAME	FLOOR	BASE	WALLS				CLG	CLG. HT.	NOTES
				NORTH	EAST	SOUTH	WEST			
28, 29, 100, 101, 163, 164, 225, 226, 266, 267	MEN'S/WOMEN'S RESTROOM	1a	2a	3a, 3b	3a, 3b	3a, 3b	3a, 3b	EXISTING/NEW TO MATCH EXISTING	EXISTING/NEW TO MATCH EXISTING	

TYPE OF FINISHES:
 1. FLOORS:
 a. CERAMIC TILE (CT-1)
 2. FLOOR BASES:
 a. CERAMIC TILE (CT-1)
 3. WALLS:
 a. PAINTED GYP. BD. (P-1)
 b. WAINSCOT (CT-2)

FINISH NOTES

- ALL PAINT FINISHES TO BE EGGSHELL FINISH. COLOR PER TENANT SPECIFICATIONS.
- CEILING FINISHES, RE: REFLECTED CEILING PLAN. COLOR PER TENANT SPECIFICATIONS.
- INSTALL ALL MATERIALS, FINISHES AND PRODUCTS PER MANUFACTURER SPECIFICATIONS.
- ALL SPECIFIED FLOORING MATERIALS ARE TO BE INSTALLED UNDER MILLWORK IN ROOMS WHERE MILLWORK ARE SHOWN.
- ALL PAINT TO BE INSTALLED WITH ONE (1) PRIMER COAT AND TWO (2) FINISH COATS WITH SAD BETWEEN COATS.
- SUBSTITUTIONS TO ANY SPECIFIED MATERIALS OR PRODUCTS SHOULD BE SUBMITTED FOR TENANT APPROVAL PRIOR TO PURCHASE.

MATERIAL SCHEDULE:

STAIN (ST-1) MATCH EXISTING STAIN SPECIFIED

PAINT FINISH (EGG SHELL FINISH FOR WALL); (P-1) SW 7103 WHITTAL

FLOOR: (CT-1) 36x36 CROSSVILLE LAMINAM FOKOS ROCCA 5.6M. W/ GROUT COLOR PROSPEC EPOXY TAPE

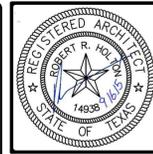
WAINSCOT: (CT-2) 24X24 CROSSVILLE VIRTURE, 6'-0" AFF TO FLOOR, W/ GROUT COLOR PROSPEC 85 OYSTER

CEILING: (CLG-1) EXISTING (CLG-2) NEW CEILING TILE & HEIGHT TO MATCH EXISTING

COUNTER SOLID SURFACE: (SS-1) CORIAN DOESKIN

RESTROOM PARTITION: (PW-1) CORIAN DOESKIN

METAL EDGE FINISH: (MTL-1) SCHLUTER-RONDEC-STAINLESS STEEL



ISSUE DATES

DATE	ISSUE NAME	OWNER'S REVIEW	BID SET	ADDENDUM #1
07/09/15				
08/11/15				
09/16/15				



HOUSTON 1111 North Loop West, Suite 800
77008
713.869.1103 V

DALLAS 27174 Legacy Drive, Suite 240
75244
972.469.7262 V

HEIGHTS VENTURE ARCHITECTS, L.P.

TENANT FINISH OUT FOR
 CITY OF CARROLLTON CITY HALL
 1945 E. JACKSON ROAD
 CARROLLTON, TEXAS 75006

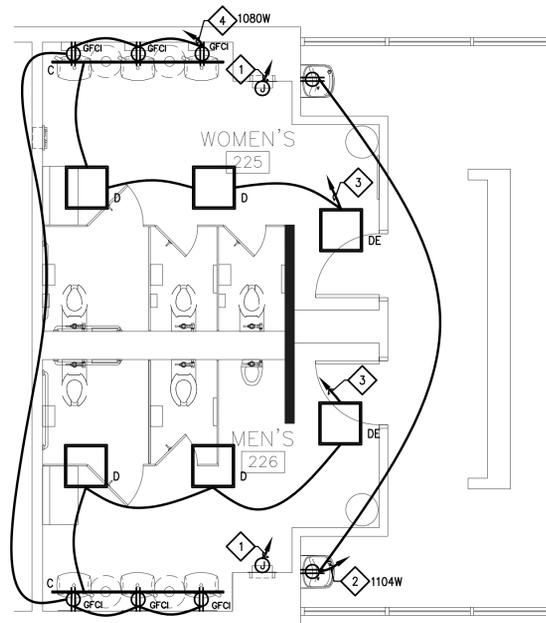
PROJECT NO. 14065
 DATE: 09/16/15
 CHECKED BY: ND
 DRAWN BY: TL
 FILE NAME:

SHEET TITLE
 PROPOSED RESTROOM ELEVATIONS & SCHEDULES

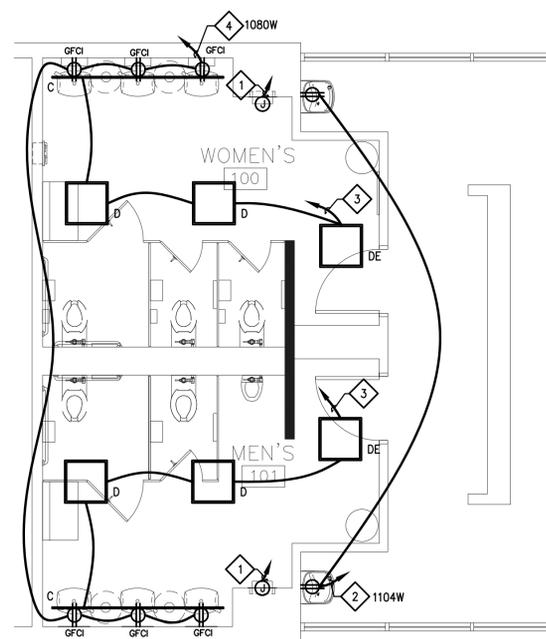
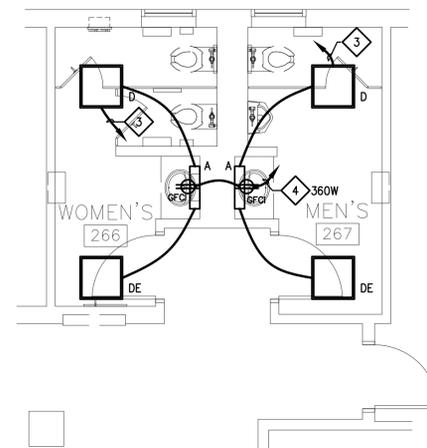
SHEET NUMBER
 A201

LIGHT FIXTURE SCHEDULE				
TYPE	LAMPS	VOLTS	DESCRIPTION	INPUT WATTS
A	2-26W	120/277	WALL MOUNT VANITY KICHLER 45573GH	52W
B	LED	120/277	LINEAR SUSPENDED 4' TEXAS FLUORESCENTS LLRB-47L-42W2488L-40K-SA	42W
C	LED	120/277	LINEAR SUSPENDED 8' TEXAS FLUORESCENTS LLRB-96L-83W4976L-40K-SA	83W
D	LED	120/277	2x2 PRISMATIC TEXAS FLUORESCENTS 131-A125-22L-S28W2700L-MV-40K	28W
DE	LED	120/277	2x2 PRISMATIC WITH 90 MIN EM BATTERY TEXAS FLUORESCENTS 131-A125-22L-S28W2700L-MV-40K-EM	28W

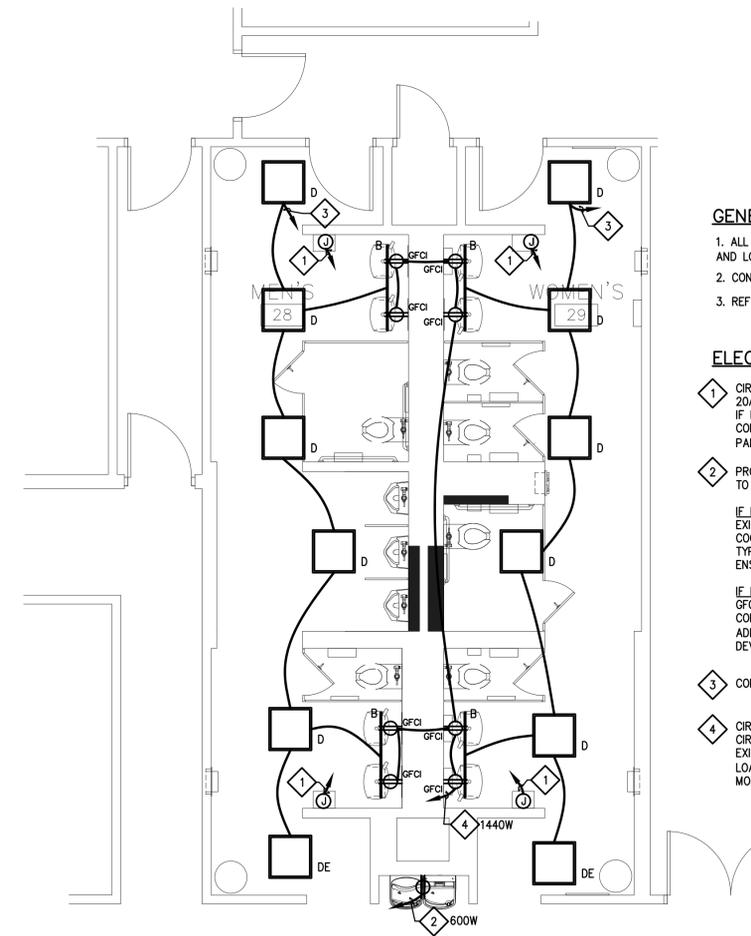
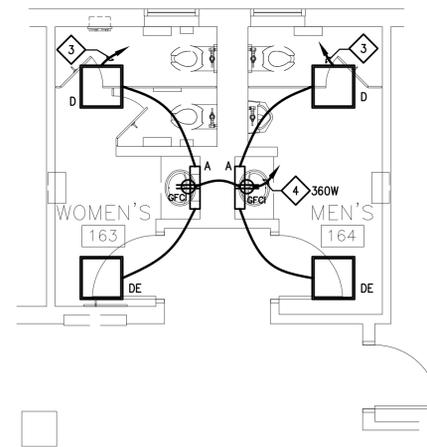
ELECTRICAL SYMBOL LEGEND			
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	DUPLEX RECEPTACLE NEMA 5-20R + 18" AFF UNLESS NOTED		FIRE ALARM PULL STATION NOM.
	DUPLEX RECEPTACLE NEMA 5-20R MOUNTED ABOVE COUNTERTOP		FIRE ALARM STROBE
	QUAD RECEPTACLE		FIRE ALARM HORN/STROBE
	FLUSH FLOOR DUPLEX OUTLET WITH COVER		SMOKE DETECTOR
	208V RECEPTACLE		DUCT SMOKE DETECTOR
	SPECIAL PURPOSE OUTLET		HEAT DETECTOR
	DISTRIBUTION PANEL LOCATION		ANNUNCIATOR
	LIGHTING/POWER PANEL LOCATION		FIRE ALARM CONTROL PANEL
	TELEPHONE PANEL BACKBOARD		CEILING MOUNTED FIRE ALARM STROBE TO BE FLUSH WITH CEILING, CONNECT TO FIRE ALARM SYSTEM
	TRANSFORMER		TAMPER SWITCH
	TIMECLOCK		FLOW SWITCH
	COMBINED PHONE/DATA OUTLET (2x4 BOX W/3/4" CONDUIT TO CEILING WITH PULL STRING)	ABBREVIATIONS	
	FLUSH FLOOR PHONE/DATA OUTLET WITH COVER: (INCLUDES PHONE/DATA J-BOX)	A	AMPERES
	DISCONNECT SWITCH; NEMA 3R IF SHOWN OUTDOORS	AFF	ABOVE FINISHED FLOOR- DESIGNATES MOUNTING HEIGHT
	FUSED DISCONNECT SWITCH; NEMA 3R IF SHOWN OUTDOORS	V	VOLTS
	JUNCTION BOX	W	WATTS
		WP	WEATHER PROOF
		GFCI	GROUND FAULT CIRCUIT INTERRUPTER
		C	CONDUIT
		G, GND	GROUND
			NOTE: ALL SYMBOLS ARE NOT NECESSARILY USED.



2 ELECTRICAL PLAN - 2ND FLOOR
1/4" = 1'-0"



3 ELECTRICAL PLAN - 1ST FLOOR
1/4" = 1'-0"



1 ELECTRICAL PLAN - BASEMENT
1/4" = 1'-0"

GENERAL NOTES

- ALL WORK SHALL COMPLY WITH THE 2011 NEC, 2012 IECC, AND LOCAL CODES/AMENDMENTS.
- CONFIRM EXISTING CONDITIONS.
- REF ARCH FOR ADDITIONAL NOTES.

ELECTRICAL NOTES BY SYMBOL "◇"

- CIRCUIT NEW HAND DRYER (CONFIRM LOAD WITH NAMEPLATE) TO SPARE 120V 20A CIRCUIT BREAKER. CONFIRM AVAILABILITY IN FIELD. PROVIDE NEW CIRCUIT IF REQUIRED. CONFIRM EXISTING CONDITIONS. PROVIDE SUBPANEL IF REQUIRED. CONFIRM ADDITIONAL LOAD DOES NOT LOAD EXISTING PANEL/FEEDERS/OVERCURRENT DEVICE TO MORE THAN 80% RATED CAPACITY.
- PROVIDE NEW RECEPTACLE FOR NEW ELECTRIC WATER COOLER. RECEPTACLE TO BE CONCEALED BEHIND UNIT.

IF EXISTING WATER COOLERS ARE POWERED: CIRCUIT NEW WATER COOLERS TO EXISTING WATER COOLER CIRCUIT; IF CIRCUIT BREAKER SERVING WATER COOLERS IS NOT A GFCI TYPE CIRCUIT BREAKER, REPLACE WITH NEW GFCI TYPE CIRCUIT BREAKER; RELOCATE EXISTING JUNCTION BOX AS REQUIRED TO ENSURE ELECTRICAL IS CONCEALED BEHIND NEW ELECTRIC WATER COOLER.

IF EXISTING WATER COOLERS ARE NOT POWERED: CIRCUIT TO NEW 120V 20A GFCI TYPE CIRCUIT BREAKER. CONFIRM AVAILABILITY OF SPACE IN FIELD. CONFIRM EXISTING CONDITIONS. PROVIDE SUBPANEL IF REQUIRED. CONFIRM ADDITIONAL LOAD DOES NOT LOAD EXISTING PANEL/FEEDERS/OVERCURRENT DEVICE TO MORE THAN 80% RATED CAPACITY.
- CONNECT TO EXISTING LIGHTING CIRCUIT/CONTROL IN ROOM.
- CIRCUIT NEW UNDER-SINK RECEPTACLES TO NEW 120V 20A GFCI TYPE CIRCUIT BREAKER. CONFIRM AVAILABILITY OF SPACE IN FIELD. CONFIRM EXISTING CONDITIONS. PROVIDE SUBPANEL IF REQUIRED. CONFIRM ADDITIONAL LOAD DOES NOT LOAD EXISTING PANEL/FEEDERS/OVERCURRENT DEVICE TO MORE THAN 80% RATED CAPACITY.

TENANT FINISH OUT FOR
CITY OF CARROLLTON CITY HALL
1945 E. JACKSON ROAD
CARROLLTON, TEXAS 75006

PROJECT NO. 14056
DATE PLOTTED: 08/11/15
CHECKED BY: ND
FILE NAME: SG

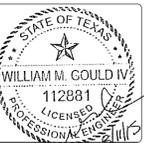
SHEET TITLE
ELECTRICAL PLAN

SHEET NUMBER
E101

JFTE James F. Turner
Engineers, L.P.
8340 Meadow Road Suite 100
Dallas, Texas 75231
Tel: 214-789-2800 Job Number: 47438
Fax: 214-789-2802
TX REGISTRATION # 03338

DRAWN: CAD DESIGN: CAD QC: M.U.N. APPD: W.M.G.

ISSUE DATES	
DATE	ISSUE NAME
07/09/15	OWNER'S REVIEW
08/11/15	BID SET



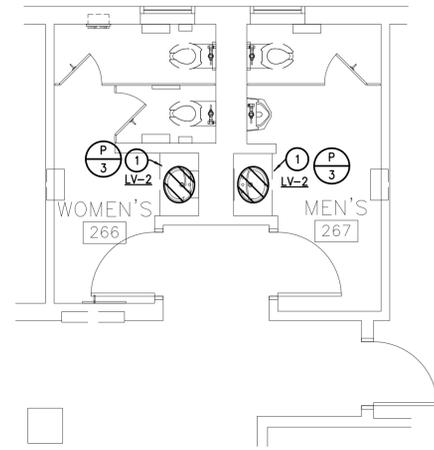
HOUSTON 1400 West Loop, Suite 800
Houston, Texas 77006
713.869.1103 V

DALLAS 8717 Legacy Drive, Suite 240
Dallas, Texas 75224
972.480.7292 V

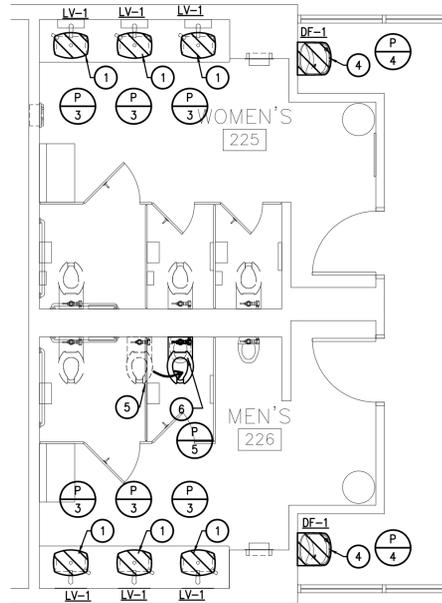
HEIGHTS VENTURE
ARCHITECTS, L.L.P.

SYMBOL LEGEND	
SYMBOL	DESCRIPTION
— SS —	SANITARY WASTE PIPING
— CWV —	COMBINATION WASTE/VENT PIPING
-----	SANITARY VENT PIPING
— • —	COLD WATER PIPING
— • • —	HOT WATER PIPING
— CD —	CONDENSATE DRAIN LINE PIPING (D) (CD)
— G —	LOW PRESSURE NATURAL GAS PIPING
— MPG —	MEDIUM PRESSURE NATURAL GAS PIPING
— SD —	STORM DRAIN PIPING
	REGULATOR
	GAS COCK
	GATE VALVE
	BALL VALVE
	CHECK VALVE
	UNION
	BALANCING VALVE
	OVERFLOW DRAIN OUTLET - SMITH 1070 MOUNTED 24" AFG
	HOSE BIBB OR NON FREEZE WALL HYDRANT
	MIXING VALVE
	CAP PIPING
	FLOOR DRAIN (FD)
	HUB DRAIN (HD)
	FLOOR SINK (FS)
	FLOOR CLEANOUT (FCO)
	TWO WAY OR DOUBLE CLEAN OUT (TWC0) (DCO)
	WALL CLEANOUT (WCO)
	VENT THROUGH ROOF
	ABOVE FINISHED FLOOR
	ABOVE FINISHED GRADE
	MEDIUM PRESSURE GAS
	CONNECTION TO EXISTING
	SEE CIVIL DRAWINGS FOR CONTINUATION

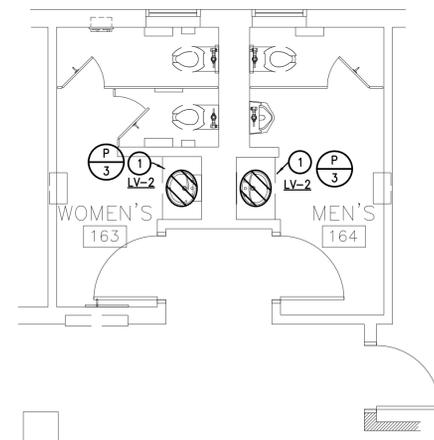
ALL SYMBOLS ON THIS LIST ARE NOT NECESSARILY USED ON THIS JOB



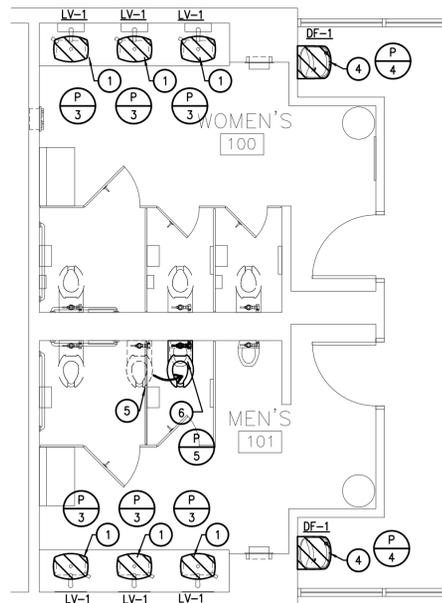
5 PLUMBING PLAN - 2ND FLOOR
1/4" = 1'-0"



3 PLUMBING PLAN - 2ND FLOOR
1/4" = 1'-0"



6 PLUMBING PLAN - 1ST FLOOR
1/4" = 1'-0"

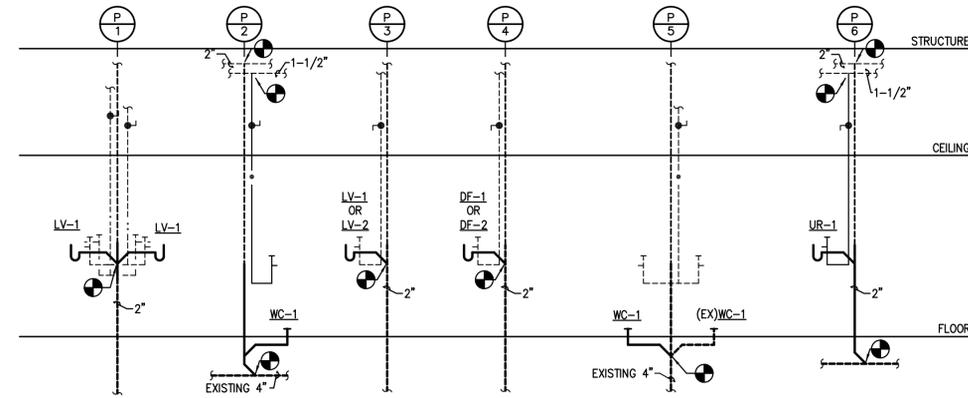


4 PLUMBING PLAN - 1ST FLOOR
1/4" = 1'-0"

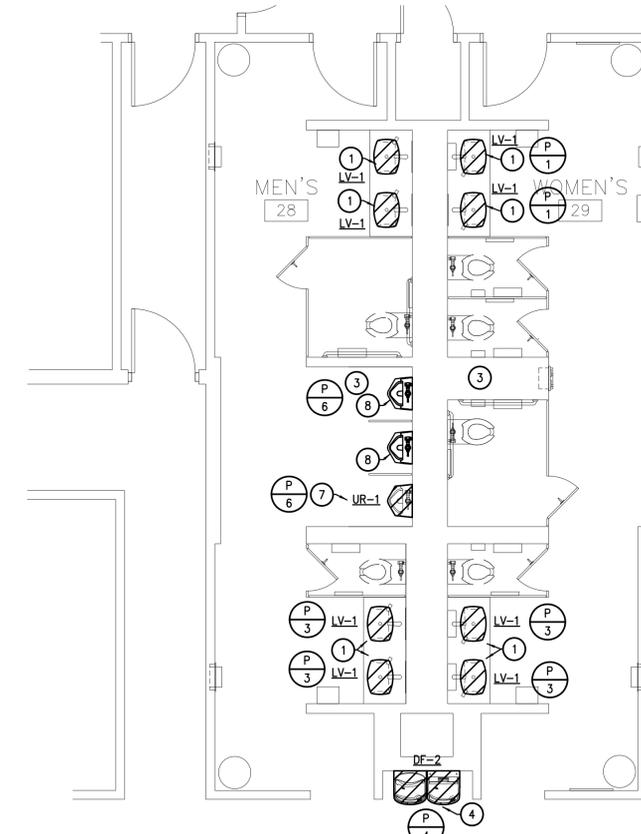
PLUMBING FIXTURE SCHEDULE			
MARK	FIXTURE	MANUFACTURER	DESCRIPTION
UR-1	ADA URINAL	AMERICAN STANDARD SLOAN	URINAL - VITREOUS CHINA - TO MATCH EXISTING URINALS. AMERICAN STANDARD URINAL - 6541.132 ALLBROOK OR SIMILAR SLOAN OPTIMA PLUS FLUSHVALVE - 1 1/2" TOP SPUD - MODEL #8186-0.5, 0.5 GPF
LV-1	LAVATORY	KOHLER SLOAN SLOAN	KOHLER MODEL#K-2382 SLOAN MODEL#EAF-100-P-ISM AUTO FAUCET SLOAN MODEL#SJS-1750 AUTO SOAP DISPENSER
LV-2	LAVATORY	KOHLER SLOAN SLOAN	KOHLER MODEL#K-2209 SLOAN MODEL#EAF-100-P-ISM AUTO FAUCET SLOAN MODEL#SJS-1750 AUTO SOAP DISPENSER
DF-1	DRINKING FOUNTAIN	ELKAY	#EZSBS MOUNTED ADA HEIGHT
DF-2	DRINKING FOUNTAIN	ELKAY	#EZSBS WITH BOTTLE FILLER, MOUNTED ADA HEIGHT

NOTES:

- REFER TO ARCHITECTURAL DRAWINGS FOR MOUNTING AND OTHER REQUIREMENTS FOR ALL TAS/ADA FIXTURES.
- INSULATE PIPING BELOW FIXTURES PER TAS/ADA REQUIREMENTS.
- ALL FIXTURE COLORS TO BE SELECTED BY ARCHITECT.
- PROVIDE WATER HAMMER ARRESTOR FOR ALL FIXTURES.



1 PLUMBING RISERS
NO SCALE



2 PLUMBING PLAN - BASEMENT
1/4" = 1'-0"

GENERAL PLUMBING NOTES:

- ALL WORK SHALL COMPLY WITH THE 2012 INTERNATIONAL PLUMBING CODE AND LOCAL CODES/AMENDMENTS.
- CONFIRM EXISTING CONDITIONS.
- REF ARCH FOR ADDITIONAL SCOPE OF DEMO & ADDITIONAL NOTES.
- REF ARCH FOR POSSIBLE RELOCATION OF EXISTING WALL-MOUNT WATER CLOSETS TO CONFORM TO ADA MOUNTING HEIGHTS. ADJUST PLUMBING AS REQUIRED.
- EXTEND PLUMBING AS REQUIRED FOR ANY NEW FIXTURES REPLACING EXISTING FIXTURES.

FIRE SPRINKLER LINES AND SPRINKLER HEADS SHALL BE RELOCATED/ADJUSTED/INSTALLED AS REQUIRED BY A LICENSED FIRE SPRINKLER CONTRACTOR AND CONFORM TO NFPA 13.

PLUMBING NOTES BY SYMBOL "O"

- REPLACE EXISTING WALL MOUNT LAVATORY WITH NEW COUNTER MOUNT LAVATORY/LAVATORIES.
- NEW WATER CLOSET. CONNECT TO EXISTING SANITARY SEWER (MIN. 4"), VENT (MIN. 2"), AND COLD WATER (MIN. 1-1/2") LINES SERVING EXISTING RESTROOMS.
- DEMO EXISTING SHOWER. CAP PLUMBING CONNECTIONS.
- REPLACE EXISTING DRINKING FOUNTAIN WITH NEW DRINKING FOUNTAIN.
- MOVE EXISTING WATER CLOSET. REF KEYNOTE 6 FOR NEW LOCATION. CAP EXISTING PLUMBING IN WALL.
- REMOVE EXISTING URINAL. INSTALL WATER CLOSET REMOVED BY KEYNOTE 5 IN ITS PLACE.
- NEW URINAL. INSTALL AT ADA HEIGHT PER ARCHITECTURAL. CONNECT TO EXISTING SANITARY SEWER (MIN. 4"), VENT (MIN. 2"), AND COLD WATER (MIN. 1-1/2") LINES SERVING EXISTING RESTROOMS.
- RELOCATE EXISTING URINAL FROM EXISTING LOCATION TO LOCATION SHOWN. EXTEND LINES AS NEEDED.

JFTE James F. Turner Engineers, L.P.
 8340 Woodloch Road Suite 100
 Dallas, Texas 75221
 TEL: 214-789-2800 Job Number: 47438
 FAX: 214-789-2802
 TX REGISTRATION # 15338
 DRAWN: CAD DESIGN: CAD QC: M.U.N. APPD: W.M.G.

ISSUE DATES	
DATE	ISSUE NAME
07/09/15	OWNER'S REVIEW
08/11/15	BID SET



HEIGHTS VENTURE ARCHITECTS, L.L.P.
 HOUSTON: 1400 West Loop, Suite 800, Houston, Texas 77020
 713.869.1103 V
 DALLAS: 2717 Legacy Drive, Suite 240, Dallas, Texas 75224
 972.480.7292 V

TENANT FINISH OUT FOR
 CITY OF CARROLLTON CITY HALL
 1945 E. JACKSON ROAD
 CARROLLTON, TEXAS 75006

PROJECT NO.	14056
DATE PLOTTED:	08/11/15
CHECKED BY:	ND
DRAWN BY:	SG
FILE NAME:	

SHEET TITLE
 PLUMBING PLAN

SHEET NUMBER
 P101